

Phase I Archaeological Survey of the Hillmoor Property, City of Lake Geneva, Walworth County, Wisconsin.

Research Report in Archaeology Number 323

Museum Archaeology Program

MAP ID: 24-6013

prepared by

Paul Reckner, PhD

principal investigator

Luther J Leith PhD, RPA

February 2025



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prepared for
The City of Lake Geneva
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The project was administered in compliance with the Secretary of Interior's Standards and Guidelines for Archaeology and Historic Preservation as amended and annotated, Wisconsin Archaeological Survey Guide for Public Archaeology in Wisconsin as revised in 2024, and Chapters 44.40 and 157.70 of the Wisconsin Statutes. Information contained in this report should be considered confidential and only used to comply with the requirements of Wisconsin State Statute 44.40 and 157.70. The looting or destruction of historic properties may be subject to legal fines, imprisonment, and/or penalties.

MANAGEMENT SUMMARY

In August and November of 2024, personnel from the Museum Archaeology Program of the Wisconsin Historical Society conducted Phase I archaeological site identification survey on the Hillmoor property. These investigations were carried out on behalf of the City of Lake Geneva, funded by a grant from the National Park Service Historic Preservation Fund through a subgrant from the Wisconsin State Historic Preservation Office (Project No. WI-24-10018). The survey was initially focused on four pre-defined areas characterized as having higher potential for archaeological resources. These areas were defined in the grant Memorandum of Agreement. Testing of the pre-defined areas was completed in less time than budgeted. Following guidance from the grant holder and representatives of the Friends of Hillmoor organization, additional discretionary investigation of seven acres of the property was carried out within the original fieldwork budget. Three public outreach events were also held in cooperation with the City of Lake Geneva and the Friends of Hillmoor.

The Phase I survey investigated one previously recorded site that reportedly extends into the Hillmoor property, Engine House Burial (47WL42/BWL-0115). The portion of the site that extends into the Hillmoor property consisted of steeply sloping terrain and was not subject to subsurface testing. However, shovel tests were placed on abutting land also owner by the City of Lake Geneva, and no evidence of the site was encountered. All subsurface tests within the WHPD site boundary exhibited heavily disturbed soil contexts.

Phase I survey also defined one newly identified archaeological site, the Haskins Farmstead (47WL397) site. The site consists of surface and subsurface remnants of a Euroamerican farm complex established in the mid-nineteenth century and utilized into the twentieth century. The site currently consists of the farm's agricultural complex, which lies within the boundary of the Hillmoor property. The dwelling associated with the historical occupation of the farm is still extant but lies on adjacent private property. This parcel was not directly surveyed as part of the present project and was thus not included within the archaeological site boundary.

As currently defined, the Haskins Farmstead (47WL397) site does not appear to have the potential to meet eligibility criteria for listing on the National Register of Historic Places. It does provide information on construction methods and organizational principles for the layout of farm complexes during the second half of the nineteenth century. The site also serves as a tangible link to a locally significant family of early Euroamerican settlers, the Haskins, who played a major role in Lake Geneva's economic and political development. As a result, the site offers an excellent opportunity for public education through interpretive signage and possible in-place preservation of the surviving remnants of agricultural buildings.

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Staff from the City of Lake Geneva Department of Public Works cleaned and cleared portions of the Haskins Farmstead (47WL397) site to make it accessible to the public for the October on-site program. Vince Mosca (Vice President – Senior Principal Ecologist, Hey and Associates, Inc.), Brooke Norstead (Associate Museum Director, University of Wisconsin Geology Museum), and Anna Martin (Volunteer Educator, University of Wisconsin Geology Museum) stepped in as volunteer educators and shared their knowledge of wetland ecology and geology with students who attended the October on-site program, and we cannot thank them enough. Thanks also go to Principal Katie Stanton and the staff and students of Eastview Elementary School for making the on-site program such a success. Raymond Knull was kind enough to allow us to use his yard, abutting the Haskins Farmstead (47WL397) site, as a staging area for students attending the October on-site program, and he also shared some of his memories of growing up in the Crawford neighborhood and exploring the Hillmoor property as a young man.

During the research phase of the project, we received invaluable assistance from staff at the Lake Geneva Museum, Lake Geneva Public Library, and Walworth County Historical Society. Finally, WHS-MAP field staff made essential contributions to the success of this project: American Freeman, Abby Holden, Ris Homar, James Kearney, Lucas Meyer. Thank you for your persistence, commitment to high quality work, and care and attention to the safety of your co-workers. Additionally, America Freeman worked her digital magic to produce the maps and graphics for this report.

INTRODUCTION

In August and November of 2024, personnel from the Museum Archaeology Program of the Wisconsin Historical Society (WHS-MAP) conducted Phase I archaeological site identification survey on the Hillmoor property. These investigations were carried out on behalf of the City of Lake Geneva, funded by a grant from the federal Historic Preservation Fund through a subgrant from the Wisconsin State Historic Preservation Office (Project No. WI-24-10018). Survey was initially focused on four pre-defined areas characterized as having higher potential for archaeological resources. These areas were defined in the grant Memorandum of Agreement (MOA). However testing of the pre-defined areas was completed in less time than budgeted. Following guidance from the grant holder and representatives of the Friends of Hillmoor (FOH) organization, additional discretionary investigation of several other areas was also carried out.

The Hillmoor property consists of approximately 250 contiguous acres (101.2 ha) located in the northeastern portion of the City of Lake Geneva (Figure 1). It is roughly bounded by Main St. to the south, USH 12 to the east, Sherridan Springs Rd. to the north, and Sage and Pioneer Sts. to the west. The north and west sections of the property consist of the channelized White River and associated floodplain. The central and southeastern portions of the property contain an extensive, irregular ridge and terrace landform bounded by steep slopes (an interlobate moraine), and adjacent rolling glacial terrain. A small, seasonal drainage runs northwesterly through this part of the property, flowing into the White River in the west-central part of the property.

Currently, the property is accessible for public recreational activities. A portion of the property is maintained as a frisbee golf course, and a small, fenced, off-leash dog park is also present. Both of these facilities lie within the floodplain of the White River. Several walking paths and small bridges cross the river channel. The remainder of the floodplain on the property is largely undeveloped at present. The majority of the property consists of upland terraces and isolated ridges covered in woods, brush, and prairie (Figures 2-10). A golf course occupied this part of the property for at least half a century but ceased operation in the 1990s. The remnants of driveways, park lots, and paved and unpaved trails are still present in this part of the property. Other structures associated with the golf course, including a substantial club house, were demolished prior to the archaeological survey. Archaeological survey focused on the upland landforms due to their higher potential for cultural resources.

Approximately 36 ac (14.6 ha) of ridgetop terrace was identified as having higher potential for subsurface cultural resources. This included terrace margins overlooking the White River, which contained a previously recorded Native American village and burial site (the Engine House Burial 47WL42/BWL-0116), as well as the previously undocumented remnants of a historic farmstead (the Haskins Farmstead, 47WL397 site).

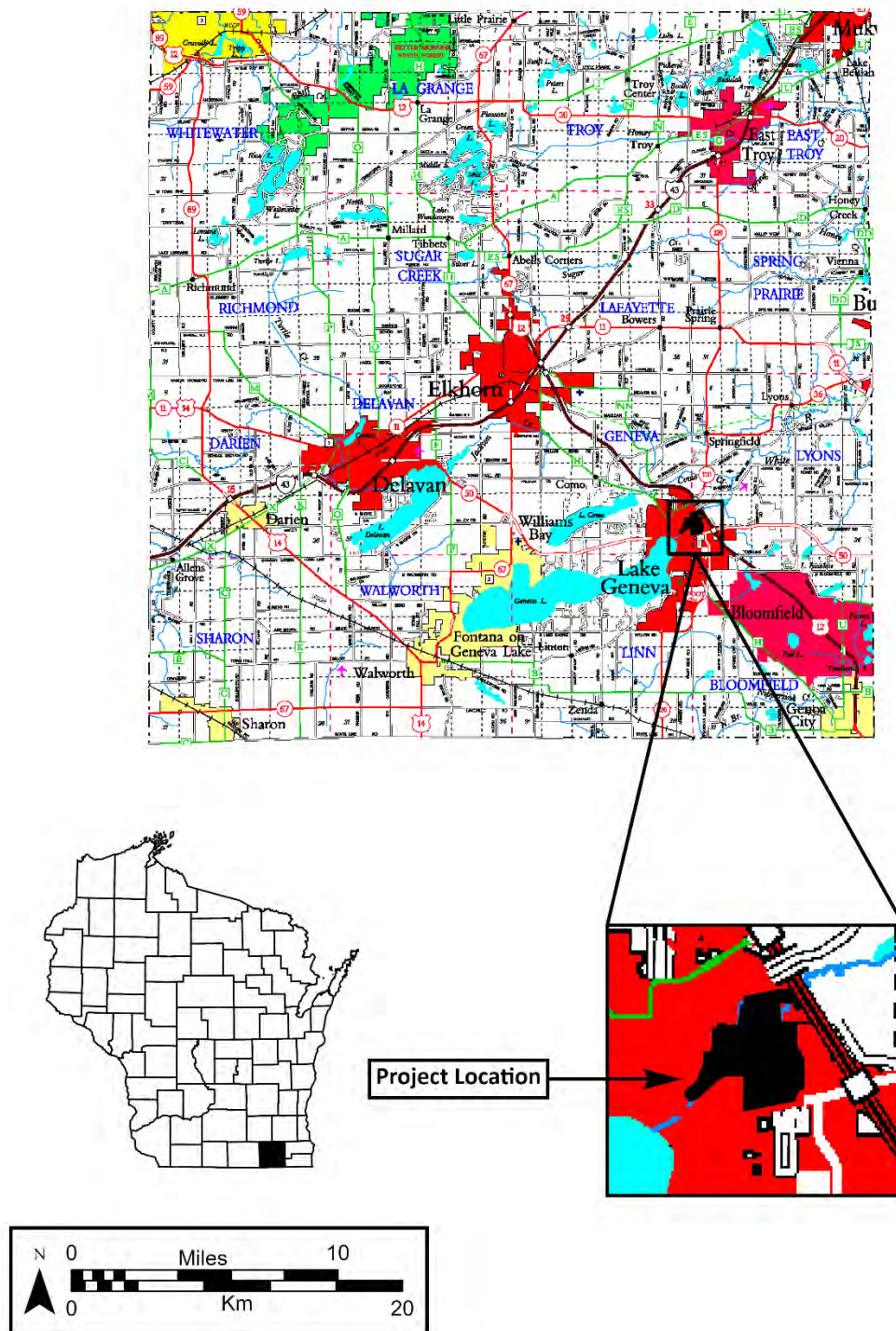


Figure 1. Location of the Hillmoor Property in the City of Lake Geneva, Walworth County.

WHS-MAP 20 September 2024



Figure 2. Hillmoor Property Project, Facing North along Access Road off of Main St.

WHS-MAP 20 September 2024



Figure 3. Hillmoor Property Project, Facing Northwest from Access Road off of Main St.

WHS-MAP 20 September 2024



Figure 4. Hillmoor Property Project, Facing Southwest from the Northeast Corner of Primary Golf Course Parking Lot.

WHS-MAP 20 September 2024



Figure 5. Hillmoor Property Project, Facing Northeast from the Southwest Corner of the Secondary Golf Course Parking Lot.

WHS-MAP 21 August 2024



Figure 6. Hillmoor Property Project, Facing North from the South Rim of the Terrace in Test Area 2.

WHS-MAP 21 August 2024



Figure 7. Hillmoor Property Project, Facing North across Paved Pathway within Test Area 2.

WHS-MAP 20 August 2024



Figure 8. Hillmoor Property Project, within the Engine House Burial (47WL42/BCR-0151), Facing East from Rail-Trail Pathway.

WHS-MAP 22 August 2024



Figure 9. Hillmoor Property Project, Facing North from Southwest of Golf Course Parking Lot in Test Area 1.



Figure 10. Hillmoor Property Project, Facing Southwest from North Side of Haskins St. Showing the Haskins Farmstead.

The entire 36 ac (14.6 ha) priority area was subjected to visual reconnaissance, and while small portions were not testable due to the presence of steep slopes or paved parking lots and pathways, the overwhelming majority of these areas were directly surveyed via shovel testing. A portion of the original fieldwork budget remained after completion of the 36 ac (14.6 ha) priority areas, so an additional seven (7) acres (2.8 ha) of the property was also shovel tested. These secondary priority areas were selected based on an assessment of potential for precontact cultural resources. The survey is intended to inform future re-development plans for the property. No proposed project plans were made available to WHS-MAP staff during the course of the 2024 Phase I fieldwork.

PHYSICAL SETTING

The Hillmoor property lies within the Eastern Ridges and Lowlands physiographic provenience as defined by Martin (1965:33). The landscape of Walworth County is highly varied, but for the most part is characterized by landforms resulting from the Wisconsin glacial expansion and recession. The Kettle Moraine range in the northwestern part of the county formed along the boundary between the Green Bay and Lake Michigan Lobes of the Laurentide Ice Sheet. The range is oriented roughly north-northeast to south-southwest and fundamentally shapes the topography and hydrology of the region. End moraines characterize the portion of the county south and west of Como and Geneva Lakes, where glacial expansion reached its maximum extent prior to recession. Other glacial features such as

drumlins, kettle lakes, and outwash terraces are also present within the region. A few remnants of pre-Wisconsinan glacial landforms also survive at the surface. The northern and western portions of the Hillmoor property consist primarily of the floodplain of the White River. Upland terraces and irregular ridges, possibly glacial moraine landforms, characterize the southeastern part of the property, and Phase I archaeological survey efforts were focused on these areas.

Water Resources

Despite the proximity of the Hillmoor property to Lake Michigan, it in fact lies at the eastern edge of the Mississippi River basin. The irregular topography of the Hillmoor property has created a complex pattern of surface water channels, ponds, springs, and wetlands. The White River flows through the Hillmoor property, draining Geneva Lake from an outlet on the northeast shore of Geneva Bay. Much of the river channel within the project area appears to have been artificially channelized, and multiple dams and mill races were constructed along the river in the second half of the nineteenth century. A dam at the outlet from Geneva Lake currently controls the flow of the river as well as the depth of the lake. The 1839 U.S. Public Lands Survey plat of Geneva Township shows extensive wetlands along both banks of the White River in the Southeast Quarter of Section 25 and the Northeast Quarter of Section 36 in what is now the Hillmoor property (Figure 11).

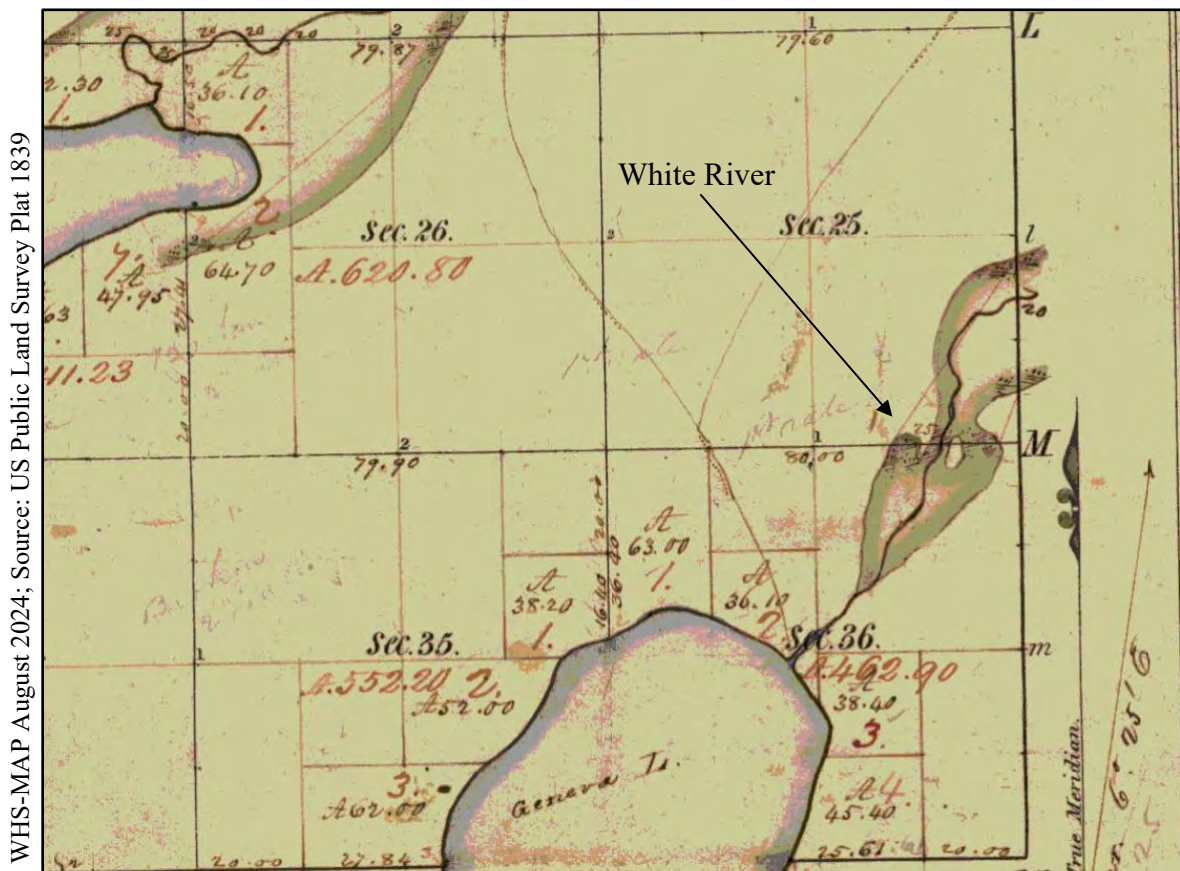


Figure 11. Detail of the 1839 U.S. Public Lands Survey System Plat of Geneva Township Showing the White River Channel Prior to Euroamerican Settlement.

Later plats show a large pond covering roughly the same area noted as wetland in 1839. This was probably caused by the various hydro-control structures that were built to harness the river to power various industrial operations, including a sawmill and an agricultural implement factory. The nineteenth-century dams and mill races have been removed and filled-in, and the White River floodplain within the Hillmoor property is currently relatively dry and stable. However, several small ponds remain in the northwest part of the property. A spring seep and pond are also present at the base of the ridge that descends from Haskins St. immediately west of the north entrance to the property. A substantial pond in the northeast portion of the property appears to have been significantly altered in the recent past and may in fact be entirely artificial.

Soils and Bedrock

The bedrock underlying the project area consists primarily of the Maquoketa Formation, which is composed of sedimentary shales, dolomitic shales, and dolomites (Mudrey et al. 1982). Adjacent areas north and west of Geneva Lake are underlain by bedrock of the Sinnipee Group, comprised of dolomite with limestone and shale (Mudrey et al. 1982). Soils in the region are derived from glacial till, outwash, and lacustrine deposits.

Soils in the vicinity of the Hillmoor property have been characterized by the United States Department of Agriculture – Natural Resources Conservation Service (NRCS) as belonging to the Miami-McHenry association (Haszel 1971). In general these soils are well-drained with subsoils of clay loam and silty clay loam. They consist primarily of upland soils that formed in loess and glacial tills composed of sandy loams and loams. Common upland soils types within the project area include eroded Casco soils, Casco-Rodman complex soils, Fox silt loams, McHenry silt loams, and Miami soils (NRCS 2024). Soil types on the White River floodplain consist primarily of Alluvial land, Adrian muck, Wallkill silt loam, and Wet alluvial land (NRCS 2024).

Silurian chert is the most common lithic raw material found in the region (Winkler and Blodgett n.d.). This material occurs in bedrock deposits in Waukesha County and can also be found as nodules in glacial till deposits (Winkler and Blodgett n.d.). Till deposits also contain a diverse variety of cherts and other cryptocrystalline stone suitable for stone tool making that were transported considerable distances from their places of origin by glacial activity.

Flora and Fauna

The vegetation of the project area prior to the arrival of Euroamerican settlers has been characterized as Southeastern Ridges and Lowlands: Deciduous Forest, Savanna, and Prairie (Hole and Germain 1994). Forests and savannas were principally composed of oak varieties: white, bur, black, and red. The plant communities in these biomes provided important resources for precontact inhabitants, including food, medicine, fibers for cordwork and basketry, and wood and bark for tools, shelter, and fuel.

Native fauna of southeastern Wisconsin in the centuries preceding Euroamerican settlement included white-tailed deer (*Odocoileus virginianus*), black bear (*Ursus americanus*), moose

(*Alces alces*), beaver (*Castor canadensis*), bobcat (*Lynx rufus*), raccoon (*Procyon lotor*), porcupine (*Erethizon dorsatum*), timber wolf (*Canis lupus*), red fox (*Vulpes vulpes*), river otter (*Lontra Canadensis*), fisher (*Martes pennanti*), various mustelid (family Mustelidae), hares/rabbits (order Lagomorpha), turkey (*Meleagris gallopova*), grouse (family Tetraonidae), and a plethora of rodents (order Rodentia; Cleland 1966; Theler 1987). Aquatic taxa, including turtles, fish, and freshwater shellfish, were present in the lakes, rivers, streams, and marshes of the region. Geneva Lake in particular was home to substantial populations of aquatic species that were utilized by precontact and historic-period populations.

CULTURAL CONTEXT

Many researchers have discussed the precontact and post contact period occupations of Wisconsin (Benchley et al. 1997; Birmingham et al. 1997; Green et al. 1986; Mason 1981; Stoltman 1992). Benchley et al. (1997) and Birmingham et al. (1997) offer the most recent synopses of Wisconsin archaeology. Southern Wisconsin has been occupied for roughly the last 10,000 years, including groups associated with the Paleoindian, Archaic, Woodland, Mississippian/Oneota and Post Contact/Historic periods (Benchley et al. 1997; Birmingham et al. 1997). The following sections provide a very brief overview and timeline of the past 10,000 years of human occupation of southeastern Wisconsin. The major archaeologically defined periods and traditions associated with precontact Native American populations of Wisconsin are discussed first, followed by a narrative timeline of post contact Euroamerican immigration into the area. The final section offers an inventory and summary discussion of previously recorded archaeological sites and archaeological studies in the vicinity of the Hillmoor property project area.

The Precontact Period (11,000 B.P. - 1650 A.D.)

Settlement of the Western Great Lakes region began around 11,500 years ago with the terminal retreat of the Wisconsin glaciers (Mason 1988). Human populations gradually shifted north adapting to the new environmental conditions in these recently ice-covered areas. The spread of the Archaic tradition from eastern North America overtook the Paleoindian tradition by 8,000 BP. The Archaic period gave way to the Woodland period around 500 BC-AD 300. The Woodland period saw the adoption of horticulture, pottery technology, and mound building (Stevenson et al. 1997). Considerable cultural changes occurred for Native Americans of the Western Great Lakes following late-seventeenth-century contact with European explorers. Factors such as the westward migration of tribes from eastern North America, co-optation of traditional economies, warfare, disease, and continual encroachment of European settlers vastly altered the Native American geography of the region (Kinietz 1965; Mason 1988).

Paleoindian Tradition (11,000 - 8,000 B.P.)

The Paleoindian Tradition represents the earliest evidence for human occupation of Wisconsin following the retreat of the Wisconsin glacier. People living during Paleoindian

times had a highly mobile lifestyle, following migrating herds of megafauna (mammoth, mastodon, etc.) which they preyed on. Occupations related to Paleoindian Tradition are identified by the presence of fluted lanceolate points such as Clovis and Folsom (Early Paleoindian) and unfluted lanceolate points and stemmed points such as Agate Basin, Plainview, Eden, and Scottsbluff (Late Paleoindian; Birmingham et al. 1997). Paleoindian Tradition tools were typically made with high quality lithic raw materials necessary for manufacturing their intricate lithic technology. This is indicated by their use of Moline chert from the lower Rock River Valley in Illinois, Burlington chert from eastern Iowa and western Illinois, and Hixton and other Cambrian-aged, silicified sandstones from Jackson County, Wisconsin (Benchley et al. 1997). In the unglaciated Driftless Area of western Wisconsin, Paleoindian sites are generally found along river terraces near wetlands or river-stream confluences, and in rock shelters (Benchley et al. 1997).

Archaic Tradition (8,000 - 2,300 B.P.)

The Archaic Tradition represents a time of continued adaptation to fluctuations in climate during the post-glacial era. People living during Archaic times were transitioning from hunting megafauna to a more broad-based diet including modern fauna, nuts, fish, and wild plants (Benchley et al. 1997; Stoltman 1997). The hallmark of the Archaic Tradition is the explosion in the variety of stemmed and notched point styles. The Early Archaic Period is typically identified by the presence of Hardin, Thebes, and Saint Charles points. The Middle Archaic shows a shift to side-notched points such as the Raddatz type. In terms of post-glacial climatic shifts, the Middle Archaic Period was associated with significant warming of the North America continent. Middle Archaic people appear to have been serially reoccupied with the same camps/sites, such as rock shelters, witnessed by well stratified contexts at such sites (Benchley et al. 1997). The Middle Archaic Period in Wisconsin is also recognized as the period when copper (typically drift copper from Michigan's Upper Peninsula) was first utilized for the production of tools and ornaments (Stoltman 1997). Because of Wisconsin's proximity to the primary copper source during this period, the Late Archaic "Old Copper Complex" (as it was once termed) is particularly well-developed in the state. The Late Archaic saw the climate ameliorate to a more modern, cooler, and more moist condition. Projectile points from this era were characterized by smaller stemmed points such as the Durst type (Wittry 1959).

Woodland Tradition (2,300 - 400 B.P.)

The Woodland Tradition represents a shift to a more sedentary lifestyle, with a concurrent shift in diet relying more on cultigens. The hallmarks of the Woodland Tradition are the adoption of pottery technology, the adoption of bow and arrow technology, the construction of earthen burial mounds, and the development of horticultural/agricultural subsistence (Stevenson et al. 1997). Additional archaeological features generally associated with Woodland peoples, and indicative of increasing sedentism, are the presence of midden deposits and house patterns associated with the development of villages (Benchley et al. 1997). It should be noted that sedentism is a fluid concept, ranging from seasonal to year-round occupations, and does not exclude practices such as long-distance trading and/or hunting expeditions.

The Woodland Tradition is separated into three main sub-periods: Early (500 B.C. – A.D. 100), Middle (A.D. 100 – 500), and Late (A.D. 500 – 1600). Early Woodland occupations are identified by the presence of thick, grit-tempered pottery (e.g., Marion Thick), and straight-stemmed Kramer points (Benchley et al. 1997). Later Early Woodland occupations are characterized by incised-over-cordmarked pottery (e.g., Prairie or Waubesa ware) and contracting-stem Waubesa type points (as well as other stemmed point types). The people living at this time generally occupied floodplains or river terraces.

The Middle Woodland witnessed the development of a burial mound tradition in southwestern Wisconsin. Two phases have been identified with the Middle Woodland, these are the Trempealeau Phase, associated with Hopewell-like mounds and traditions, and the Millville Phase. Alternatively, Stoltman (2006:325-326) has argued that there is continuity from the Prairie to Millville Phases during the Middle Woodland in Wisconsin with Havana influences being differentially introduced across the region. Most importantly, this would invalidate the basis for distinguishing the Trempealeau Phase. The Snyders/Manker point type is diagnostic of the Middle Woodland Period (Birmingham et al. 1997). The Millville Phase has direct evidence of cultivation of squash, sumpweed, and wild rice (Arzigian 1987). Communities living during the Millville Phase also consumed hickory nuts, walnuts and acorns. The pottery of this phase is typically cord-roughened with dentate stamping, cord-wrapped stick impressions, and punctates (e.g., Linn ware). The Steuben Expanded Stem point type is another hallmark of the Millville Phase (Birmingham et al. 1997).

The Late Woodland Period Eastman Phase, defined in southwestern Wisconsin, is associated with the Effigy Mound culture (Stoltman 1990). People living at this time constructed large conical, linear, animal/spirit, and human-shaped burial mounds. Pottery technology continued to be refined, with thinner walls (e.g., Madison ware). The Eastman Phase saw the development of bow and arrow technology, witnessed by the presence of small stemmed and triangular points (Stoltman 1990). Like the preceding phases, the Eastman Phase reflects a reliance on cultigens as well as seasonally exploited resources available on floodplains, terraces, and uplands (Stoltman 1990).

Middle Mississippian/Oneota Tradition (1,000 - 500 B.P.)

The Oneota and Mississippian Traditions represent the first full-scale farming societies in Wisconsin. Mississippian peoples in the American Bottom region lived in planned permanent towns, some quite large and populous, with ceremonial centers. Major urban centers were supported by intensive farming of corn, beans, and squash. Mississippian peoples had hierarchical societies with complex political and religious structures. Platform mounds were used for ceremonies and/or as the residences of high-ranking individuals. Mississippian cultural practices and ideas were dispersed from the centers of Mississippian culture, such as Cahokia, to other areas, including Wisconsin. The two most substantial Mississippian Tradition sites in Wisconsin are Aztalan, located in Jefferson County, and Trempealeau (Trempealeau County). Other, less-extensive Mississippian campsites and villages have also been identified.

People associated with the Oneota Tradition shared a number of cultural traits with those following the Middle Mississippian lifeways, who also occupied southern Wisconsin (Overstreet 1997). They resided in large villages focused on extensive gardens and relied primarily on horticulture for their subsistence. Oneota pottery is characterized by the use of crushed shell as a tempering agent and is often finely potted and elaborately decorated. The Oneota Tradition has been subdivided into several Horizons and Phases. The major center of Oneota occupation in southern Wisconsin was focused on the Lake Koshkonong area.

Contact and Post Contact Periods (ca. 1650 C.E. – Present)

French fur trader Jean Nicolet is largely accepted as the first European to enter the region that would become Wisconsin in 1634 (WHS 2012b). Tasked with discovering a water route to China, Nicolet, accompanied by Huron guides, canoed through the Great Lakes ending near the present-day city of Green Bay. It was there that he first encountered Ho-Chunk people and established a trading post (Vimont 1917). Even though missionaries and fur traders established trading posts, missions, and forts in Wisconsin throughout the French exploration and colonial period (1634 to 1759), none of these edifices served as permanent settlements in this early period. Rather, fur traders and missionaries utilized them to conduct business, but did not occupy them year-round (WHS 2012h).

Native American groups encountered in Wisconsin during the French exploration and colonial period included the Ojibwa (Chippewa), Ho-Chunk (Winnebago), Menominee, and Sioux. Additional Native American groups displaced from the east by European settlement include Sauk, Meskwaki (Fox), Potawatomi, Mascouten, Kickapoo, and Ottawa (WHS 2012d). An economic relationship developed between the fur traders and members of the native groups whereby the fur traders imported and advanced products such as metal knives, awls, kettles, steel flints, jewelry, guns, and ammunition to the natives in the fall season, in return for lucrative beaver furs that would be harvested in the following spring (WHS 2012h).

As France and Great Britain fought for territorial claims and control of the fur trade in North America in the French and Indian War (1754-1763), various native groups allied with either side. In 1761 the British annexed Green Bay and by the end of the war all of Wisconsin. Although the United States acquired Wisconsin shortly thereafter via the 1783 Treaty of Paris, Great Britain continued to exert control of the local fur trade and maintained their military alliances with native groups. The War of 1812 ensued as a result of the fractious relationship between Great Britain and the United States. The war ended with the Treaty of Ghent in 1814, which restored control of Wisconsin to the United States as part of the Illinois Territory (WHS 2012j).

During the 1820s another wave of displaced native groups settled in Wisconsin to escape exploitation in the east. These groups included the Stockbridge-Munsee band of Mohicans (part of the Oneida nation for which Oneida County was subsequently named), and the Brothertown Community composed of Pequot, Niantic, Montauk, and other coastal people who sought refuge with the Oneida from New York (WHS 2012f).

Native peoples had exploited the rich, shallow, and readily minable lead deposits found in what would become southwestern Wisconsin for millennia, and European explorers and traders became aware of this resource as early as the seventeenth century. Lead quickly became an important commodity in indigenous-European trade relations. By the 1820s European/Euroamerican entrepreneurs, many of them miners from established mining regions in Missouri and Illinois, began moving into southwestern Wisconsin. What would become Wisconsin's lead region had not yet been ceded by its indigenous Native American occupants, and the growing Euroamerican presence further aggravated already tense relations with native peoples. It also accelerated the displacement of local Native American groups that was already well underway as a result of dubious treaties and land cessions. Euroamerican lead extraction rapidly intensified and industrialized, such that in the early decades of the nineteenth century the lead industry represented a significant portion of the Wisconsin Territory's economy. The "Lead Boom" further spurred Euroamerican settlement of the region.

Prior to statehood, Wisconsin was successively part of the Northwest Territory (1788-1800), Indiana Territory (1800-1809), Illinois Territory (1809-1818), and Michigan Territory (1818-1836). Finally, by an act of the U.S. Congress, Wisconsin became a U.S. Territory in its own right in 1836. The creation of the Wisconsin Territory encompassed the present-day states of Wisconsin, Minnesota, Iowa, and parts of North and South Dakota. The first territorial Governor of Wisconsin, Henry Dodge, ordered a census and found only 11,683 Euroamerican residents (the census excluded native peoples) in the Wisconsin Territory (WHS 2012e). In 1837 Governor Dodge negotiated the Treaty of St. Peters, also known as the Treaty with the Chippewa or the White Pine Treaty. The treaty transferred Ojibwa lands across present-day northern Wisconsin and Minnesota, totaling more than three million acres of land, to the U.S. government (Kappler 1904). In return, signatories to the treaty were to receive annual monetary payments and trade goods for 20 years, as well as retention of rights to continue subsistence practices on the land. The Treaty of St. Peters proved pivotal for European and Euroamerican settlement of Wisconsin. By the time of the 1846 state census 155,277 people resided in the Wisconsin Territory, setting the stage for full statehood in 1848 (WHS 2012e).

Walworth County was formally separated from Milwaukee County in 1838. Its location in the southeastern corner of the Wisconsin Territory, and proximate to both the Cities of Chicago and Milwaukee, allowed rapid settlement and development. Walworth County also lies along the overland route from the lead mining regions of southwest Wisconsin to entrepôts along the Lake Michigan shoreline. The county emerged as an important early agricultural region, and numerous small market towns, such as Elkhorn, East Troy, Lake Geneva, and Mukwonago, quickly took root at strategic crossroads. These areas also saw early access to railroads as lines stretched out from Milwaukee and Chicago in the early 1850s. Early Euroamerican settlers to the Geneva Lake area became aware of the potential for water-powered industries, harnessing the numerous waterways flowing into and out of the lake basin. Although the Village of Lake Geneva never became a major industrial center, water-powered mills and factories were an important sector of the community's early economy.

Over the course of the second half of the nineteenth century and into the twentieth century, agriculture remained the primary economic engine of Walworth County, and the county remains relatively rural in character. A modest rural tourism industry also developed in the county in the second half of the nineteenth century, however. It was centered on the numerous small lakes in the southeast part of the county and was fed by railroad lines that significantly eased access to these rural areas for residents of urban Milwaukee and Chicago. Lake Geneva became a hub for tourism, and in the wake of the Chicago Fire of 1871 it grew into an extremely affluent community of seasonal and permanent expatriate Chicagoans. This pattern of development continues to shape the City of Lake Geneva in the present day.

Previous Archaeological Research

Records research regarding previous archaeological investigations in the vicinity of the Hillmoor property project area revealed 12 previously recorded sites within one mile of the project area (Table 1, Figure 12). Based on information contained in the Wisconsin Historic Preservation Database (WHPD), six sites represented precontact Native American occupation of the region, four were associated with the Euroamerican occupation during the post contact period, one was related to the post contact period Native American presence in the region, and one site combined both precontact and post contact period Native American occupations. Among the precontact sites, four consist of “Unknown Precontact” period occupations, two reportedly represented generalized Woodland Period occupations, two were reflected more specific Late Woodland Period occupation, and two included historic period Native American occupations. Five of the precontact sites are characterized as campsites/villages, and three are mound sites. One of the post contact period Native American sites consist of a campsite/village and cemetery/burial, and the other is simply a campsite/village. The of the post contact/historic period Euroamerican sites are cemeteries/burials, and one is a shipwreck.

**Table 1. Previously Reported Archaeological Sites
within One Mile of the Hillmoor Property Project Area.**

Site Code	Site Name	Site Type	Period/ Affiliation	Within the Project APE?
47WL33	unnamed site	Campsite/Village	Unknown Precontact	N
47WL36	unnamed site	Campsite/Village	Unknown Precontact	N
47WL37/ BWL-0087	Lake Geneva Manor Mound	Mound(s), Other/Unknown	Woodland	N
47WL38/ BWL-0088	Lake Geneva Mounds	Mound(s): Conical, Effigy	Woodland, Late Woodland	N
47WL41	unnamed site	Campsite/Village	Unknown Precontact	N
47WL42/ BWL-0151	Engine House Burial	Campsite/Village, Cemetery/Burial,	Unknown Precontact, Historic Indian	Y
47WL43	Ecshekekoskek	Campsite/Village	Historic Indian	N
47WL44/ BWL-0116	Antlers Summer Hotel	Mound(s):Linear; Cemetery/Burial	Late Woodland	N
47WL267	Atlanta (1858)	Shipwreck	Historic Euroamerican	N
BWL-0045	unnamed Cemetery	Cemetery/Burial	Historic Euroamerican	N
BWL-0047	Pioneer Cemetery	Cemetery/Burial	Historic Euroamerican	N
BWL-0048	Oak Hill Cemetery	Cemetery/Burial	Historic Euroamerican	N

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Only one of the above sites, the Engine House Burial (47WL42/BWL-0151) site, extends into the Hillmoor property project area, based on current site boundary as mapped in the WHPD. The site is only known from newspaper reports of the 1892 discovery of human skeletal remains by workers excavating gravel from a borrow pit (WHPD 2024). The borrow pit was located near the railroad engine house building that stood southeast of the rail line crossing at Sage Street in the City of Lake Geneva (WHPD 2024). The find was described as that of “a full grown man, though broken into many parts...[found] about two feet under ground.” One news article asserted that the remains were “probably of a Pottawatamie [sic] Indian”, but the basis for this claim was not elaborated. A second news article noted that “this is the second skeleton found in the same place, the other having been dug up some time ago” (WHPD 2024). Archaeological monitoring of several construction projects in the vicinity of the WHPD site boundary between 2011 and 2019 did not encounter any cultural material or human remains. The former location of the railroad engine house currently falls within City of Lake Geneva property abutting the southwest boundary to the Hillmoor property.

METHODOLOGY

The survey and excavation methods used for this project conformed to WHS-MAP standards as per the *Vade Mecum: Field Methods and Procedures* (1997) and *Archaeology Lab Procedures* (2012). They were also consistent with the *Guide for Public Archeology in Wisconsin* (Wisconsin Archeological Survey 2024). In addition to the field and laboratory methods, an archaeological literature and records search was conducted for the project area at the Wisconsin Historical Society headquarters in Madison.

Phase I Field Methods

Phase I archaeological testing of the Hillmoor property focused primarily on four discontinuous areas defined as having higher potential for archaeological resources relative to other portions of the property. These higher potential areas were defined in a MOA between the Wisconsin State Historic Preservation Office and the City of Lake Geneva (Appendix I).

The Hillmoor property consists of approximately 250 contiguous acres located in the northeastern portion of the City of Lake Geneva. The north and west sections of the property consist of the channelized White River and associated floodplain. The central and southeastern portions of the property contain an extensive, irregular ridge and terrace landform bounded by steep slopes (an interlobate moraine), and adjacent rolling glacial terrain. A small, seasonal drainage runs northwesterly through this part of the property, flowing into the White River in the west-central part of the property. Four areas, encompassing approximately 36 ac (14.6 ha) of the Hillmoor property, were defined as having higher potential for subsurface cultural resources and were designated as high priority for Phase I survey in the MOA. The 2024 Preservation Planning Grant received by the City of Lake Geneva to funded the present project. These high priority survey areas generally consisted of ridgetop terrace landforms, most of which were covered in woods, brush, and prairie. Once this portion of the survey was completed the grant holder and representatives of

the FOH requested that additional locations on the property be surveyed in order to expend the remaining fieldwork budget of the grant. These secondary discretionary areas were identified by MAP staff as having potential for intact cultural resources and resulted in the investigation of seven (7) additional acres (2.8 ha) within the original fieldwork budget.

All survey areas were subjected to visual reconnaissance along 10 to 15 m (30-50 ft) transects. All testable portions of these transects were shovel tested at the same 10 to 15 m (30-50 ft) interval, depending on proximity to water sources. All shovel tests were excavated at least five centimeters (1.9 in) into the B-horizon (sterile subsoil) and all excavated soils were hand screened through $\frac{1}{4}$ in hardware cloth mesh. Artifacts recovered were placed in field collection bags marked with project information and provenience data. Soil profiles were recorded for all positive shovel tests, and from all shovel tests within previously recorded site areas. A sample of negative shovel tests across the project area were also recorded. These profiles were collected in order to understand the pedological and geomorphological history of the area and how these may relate to site formation processes.

All shovel tests were mapped using a Trimble® GNSS receiver with a maximum accuracy of 30 cm (one foot), and data was visualized using ArcGIS Pro/Online® applications. Only steep slopes and inundated or paved/disturbed areas were excluded from shovel testing. Controlled pedestrian survey was not generally employed on the project due to limited surface visibility and the absence of recently plowed agricultural fields. A limited surface collection was carried out at the Haskins Farmstead (47WL397) site in order to sample probable historic artifacts observed on the ground surface around the structural remains that primarily defined the site.

General project overview photos were taken with a digital camera and/or cell phone to record field conditions such as terrain and ground cover. Above ground structures were documented through scaled, hand drawn schematics, written descriptions, detailed photographs, Trimble® GNSS mapping data, and three dimensional LiDAR scans. After completion of Phase I investigations, all excavation areas were backfilled using manual methods as appropriate for the location. The original pre-excavation topography of the area was restored.

Laboratory Procedures and Curation

Artifacts recovered during this project were transported to the WHS-MAP laboratory to be cleaned, catalogued, and curated following WHS-MAP laboratory procedures (MAP 2012). Laboratory personnel processed the materials recovered during this project in accordance with Museum Archaeology Program standards. Each artifact bag was processed separately. Processing involved cleaning, drying, and re-bagging in appropriately provenienced bags. During analysis artifacts were sorted into general classes, for example: Architectural Debris, Ceramics, Glass, etc. This material was then inventoried according to type and potential date of manufacture using a variety of archaeological literature sources, artifact and program guides, and program comparative collections.

Historic-period artifacts were inventoried based on material composition and general form/type, and where possible date ranges were assigned to identifiable artifacts based on

their known period of manufacture according to published sources. Once analysis was completed, laboratory staff catalogued the archaeological remains. Catalogue lists were recorded for all the artifacts recovered from each provenience from each site. All field data was curated at WHS and the archaeological material was returned to the City of Lake Geneva for curation.

RESULTS OF INVESTIGATIONS

The 2024 Phase I site identification survey of designated portions of the Hillmoor property investigated one previously recorded site that reportedly extended into the project area: Engine House Burial (47WL42/BWL-0115) and one new archaeological resource, the Haskins Farmstead (47WL397) site (Figure 13).

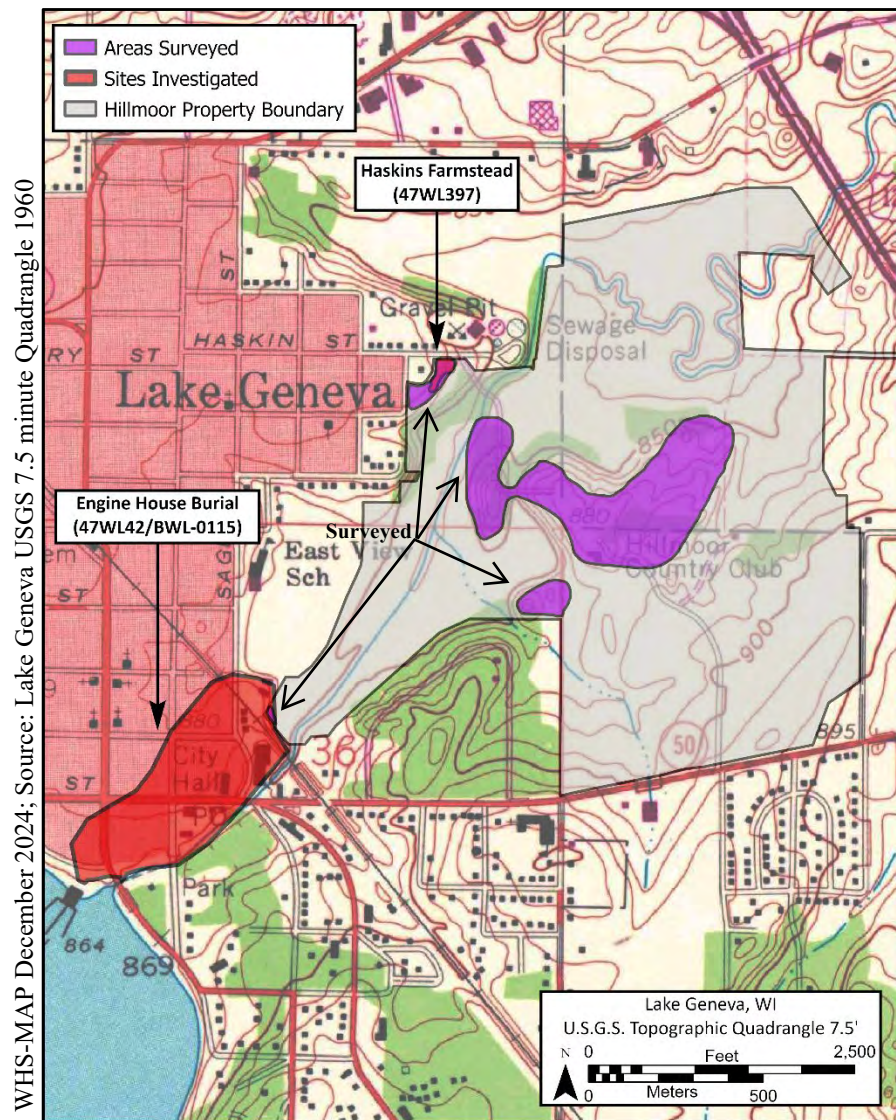


Figure 13. Archaeological Sites Investigated During the 2024 Survey of the Hillmoor Property.

No evidence of the Engine House Burial (47WL42/BWL-0115) was encountered, and all subsurface tests within the WHPD site boundary abutting the Hillmoor property exhibited disturbed soil contexts. The newly identified Haskins Farmstead (47WL397) site consists of surface and subsurface remnants of a Euroamerican farm complex established in the mid-nineteenth century and utilized through the early decades of the twentieth century. The site encompasses the farms' agricultural complex, which lies within the boundary of the Hillmoor property. The dwelling associated with the historical occupation of the farm is still extant but lies on adjacent private property and was not directly surveyed as part of the present project and was thus not included within the archaeological site boundary.

Engine House Burial (47WL42/BWL-0151) Site.

The Engine House Burial (47WL42/BWL-0151) site is a Native American campsite/village and cemetery/burial site reflecting both an unspecified precontact occupation and a possible post contact period Native American occupation. It is currently considered an uncatalogued burial site and is protected under Wisconsin Statutes (Wis. Stats.) § 157.70. The GIS layer of the WHPD currently maps the site boundary as an irregular oval shape that measures approximately 480 m (0.3 mi) northeast-southwest by 200 m (0.12 mi) northwest-southeast. The majority of the WHPD site area lies within the urbanized footprint of the City of Lake Geneva (Figures 14-15).

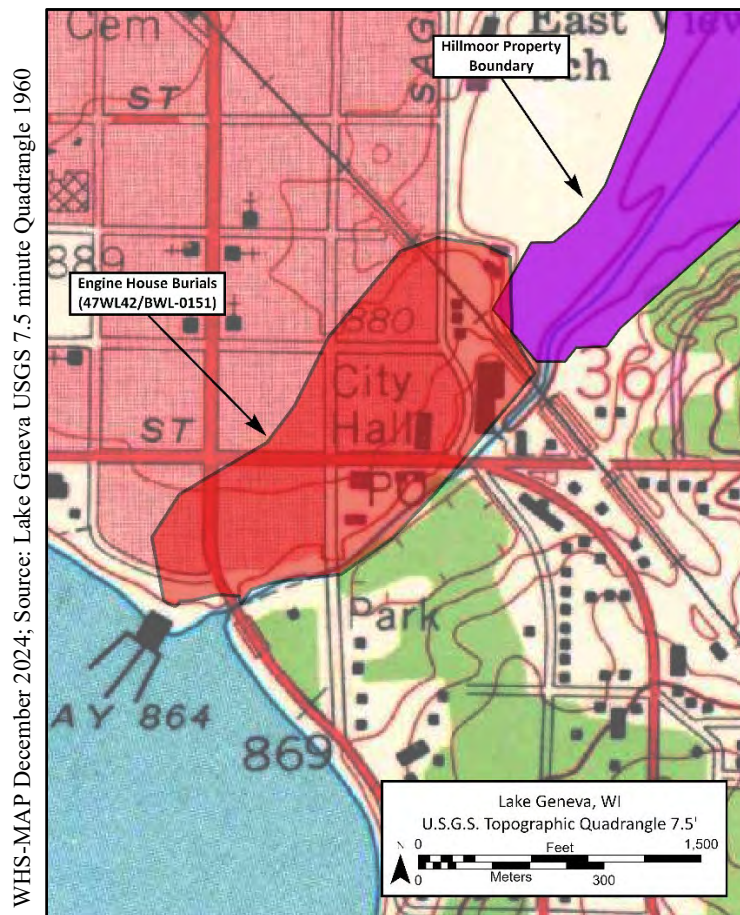


Figure 14. Engine House Burial (47WL42/BWL-0151) Site Based on the WHPD.



Figure 15. Engine House Burial (47WL42/BWL-0151) Site on Modern Aerial Imagery.

The portion that extends into the Hillmoor property is at the extreme northeast end of the WHPD site boundary, situated on the northeast edge of a terrace that slopes steeply downward to the floodplain of the White River (Figures 14-15). The terrace appears to have been heavily modified to create a level bed for the railroad line that once traversed the terrace along a northwest-southeast alignment (Figures 16-18). Several support and maintenance structures, including the eponymous engine house, also stood on the terrace within the WHPDS site boundary. These buildings have since been demolished, but their approximate locations have been marked on the present-day ground surface for historical interpretive purposes. The railroad bed has been converted into a recreational multi-use pathway.

WHS-MAP 20 August 2024



Figure 16. Engine House Burial (47WL42/BWL-0151), Facing East from Rail-Trail.

WHS-MAP 20 August 2024



Figure 17. Engine House Burial (47WL42/BWL-0151), Facing Southeast along Rail-Trail Pathway.



Figure 18. Engine House Burial (47WL42/BWL-0151), Facing Southwest, Northeast of Site Area.

Previous Investigations

The Engine House Burial (47WL42/BWL-0151) site extends into the Hillmoor property project area, based on current site boundary as mapped in the WHPD (2024). The site is only known from newspaper reports of the 1892 discovery of human skeletal remains by workers excavating gravel from a borrow pit (*Lake Geneva News* 1892). The borrow pit was located near the railroad engine house building that stood southeast of the rail line crossing at Sage Street in the City of Lake Geneva. The find was described as that of “a full grown man, though broken into many parts...[found] about two feet under ground.” One news article asserted that the remains were “probably of a Pottawatamie [sic] Indian”, but the basis for this claim was not elaborated. A second news article noted that “this is the second skeleton found in the same place, the other having been dug up some time ago” (*The Herald* 1892).

The former location of the railroad engine house that was referenced in the 1892 newspaper reports currently lies on City of Lake Geneva property abutting the extreme southwest boundary to the Hillmoor property. As a result it is possible that the site extends into the 2024 project area. Based on current WHPD site mapping, the northernmost 21 m (68.9 ft) of the site area overlaps the Hillmoor property.

Archaeological monitoring of several construction projects in the vicinity of the WHPD site boundary between 2011 and 2019 did not encounter any cultural material or human remains (WHPD 2024). The only one of these surveys that examined the portion of the site adjacent to the Hillmoor property was a Phase I archaeological site identification survey carried out in 2002 (Christiansen 2002). The survey investigated the proposed route of a multi-use path along the former railroad track that was associated with the engine house referred to in the 1892 reports of the accidental discovery of human remains (Christiansen 2002). The specific testing methods employed within the portion of the site that overlaps the Hillmoor property are not known, but WHPD notes that “testing failed to identify features or materials. No further fieldwork is recommended.”

Results of 2024 Field Investigation

The portion of the Engine House Burial (47WL42/BWL-0151) site that extends into the Hillmoor project area consists of steep slopes that are probably the result of historic-period landscape modifications related to gravel quarrying and leveling of the terrace that defines boundary of the Hillmoor property. The site area within the project area was not testable due to the sloping terrain, but at the request of the client two shovel tests were placed immediately outside the Hillmoor property boundary on the edge of the terrace. This adjacent parcel, associated with the former railway that now serves as a public multi-use recreational trail, is also owned by the City of Lake Geneva.

Two shovel tests (STs) were excavated within the portion of the WHPD site boundary that abuts the Hillmoor property (Figures 19-20). Shovel Test 1 was placed at the top of the terrace; soils consisted of multiple fill zones overlying what appeared to be a blacktop surface encountered at a depth of 120 centimeters below ground surface (cmbgs). The blacktop was heavily weathered, so it was possible to penetrate approximately five centimeters into the material before the ST was closed out and recorded. No intact soils were encountered.

Shovel Test 2 was placed on the eroded slope along the northeast edge of the terrace atop which ST 1 had been excavated, approximately 20 m (65 ft) southeast of ST 1. Shovel Test 2 began roughly two meters (6.6 ft) below the ground surface of the terrace, and thus 0.75 m (2.4 ft) below the base of ST 1. The profile consisted of three zones of fill extending to a depth of 62 cmbgs (24.4 in). A small brick fragment with an impressed “R” stamped on it was noted in Fill Zone 2 of ST 2; the object was not collected.

Based on these results, soils within the portion of the Engine House Burial (47WL42/BWL-0151) site that abuts into the Hillmoor property project area consist of fill soils to a depth of at least 2.62 m (8.6 ft) below the ground surface at the top of the terrace. No intact soils were encountered, and no precontact Native American artifacts or human remains were observed.



**Figure 19. Engine House Burial (47WL42/BWL-0151) Site,
Showing Shovel Test Locations.**

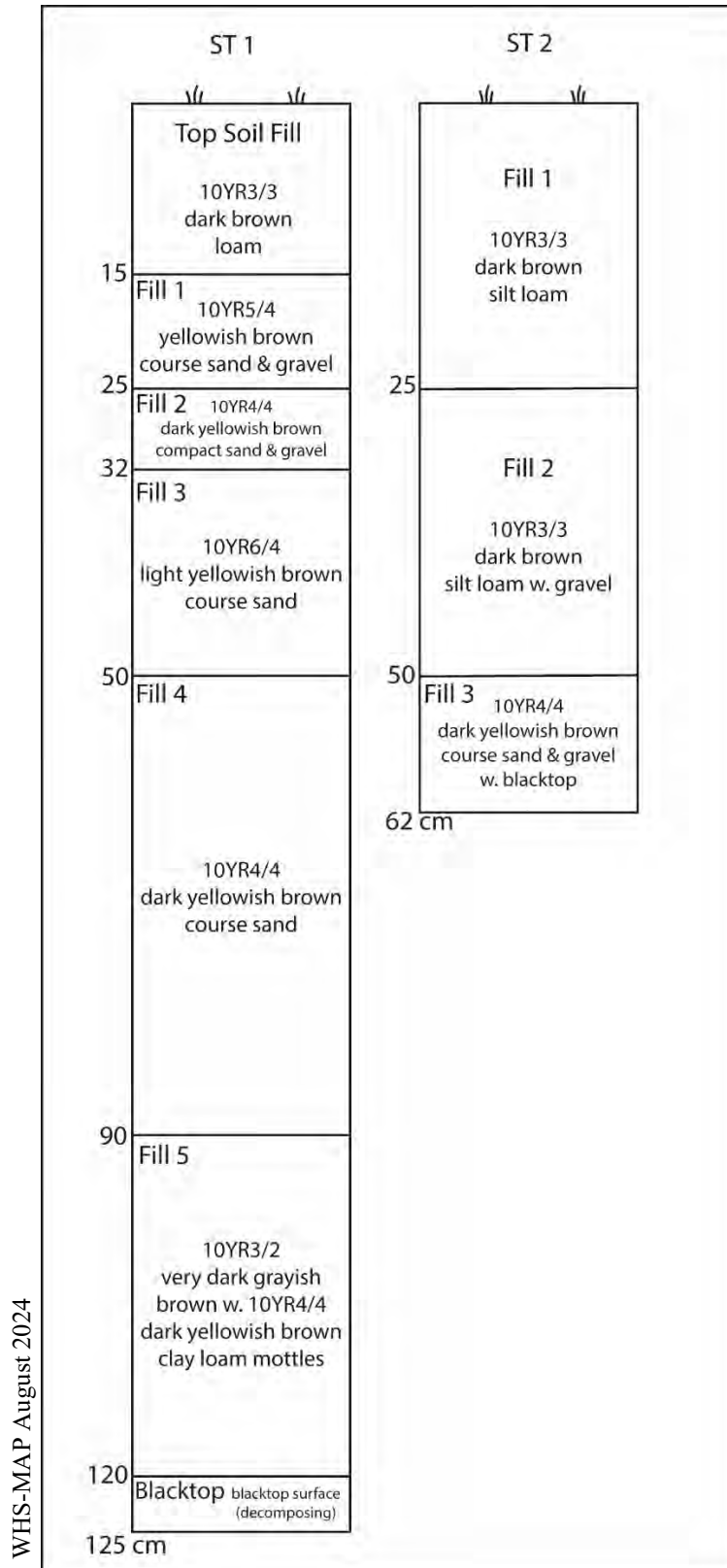


Figure 20. Representative Shovel Test Profiles from the Engine House Burial (47WL42/BWL-0151) Site.

Summary and Recommendations

The Engine House Burial (47WL42/BWL-0151) site Native American campsite/village and cemetery/burial site reflecting both an unspecified precontact occupation and a possible post contact Native American occupation. It is considered an uncatalogued burial site and is protected under Wis. Stats. §157.70. The northern-most portion of the site area, consisting of the northeast edge of a terrace that slopes steeply downward to the floodplain of the White River, abuts and extends into the Hillmoor property. The terrace appears to have been heavily modified to create a level bed for the railroad line that once traversed the terrace along a northwest-southeast alignment. Soil profiles from shovel tests indicate that recent fill soils extend to at least 2.62 m (8.6 ft) below the current ground surface of the terrace.

It is not possible to rule out the presence of intact soils that could contain human burials below the depth of the 2024 shovel testing, but the upper soils within the portion of the site area tested in 2024 do not have the potential to contain intact human burial contexts, and very low potential for displaced human remains. No specific development plans for this portion of the project area were shared with WHS-MAP staff at the time of the 2024 investigation. The survey of the portion of the Engine House Burial (47WL42/BWL-0151) site that abuts the Hillmoor property was carried out for proactive purposes, recognizing the potential for future improvements to park access in the vicinity of the site. With this in mind, no additional investigation is recommended under the condition that future construction plans do not involve ground disturbances that would extend deeper than 2.5 meters (8.2 feet) below the present-day ground surface of the terrace/multi-use path surface.

Haskins Farmstead (47WL397) Site.

The Haskins Farmstead (47WL397) site is a post contact period Euroamerican farmstead site that was utilized during the second half of the nineteenth century and early-twentieth century. The site consists of surface and subsurface remnants of a farm complex established in the mid-nineteenth century and utilized through the early decades of the twentieth century. The site currently consists of the farm's agricultural complex, which lies at the extreme northern end of the Hillmoor property (Figure 21).

The site is roughly bounded by Haskins St. to the north, the driveway of the private residence at 242 Haskins St. to the west, and the edge of a terrace and associated shoulder slope to the south and east (Figures 21-26). The residence located immediately west of the site area was historically associated with the farm complex but was not included within the archaeological site boundary as it stands outside the project area on private property. The parcel was not directly surveyed as part of the present project. The Haskins Farmstead (47WL397) site's primary above-ground features include the well-preserved mortared stone masonry foundations of a banked barn and two attached silos. Secondary features, such as a mortared stone masonry retaining wall, a poured cement engine/pump footing, and several small, poured concrete footings, are also associated with the complex. A dispersed, low density scatter of historic artifacts is present across the surface of the site area, and low densities of subsurface artifacts were also encountered in Ap-horizon contexts across the site.

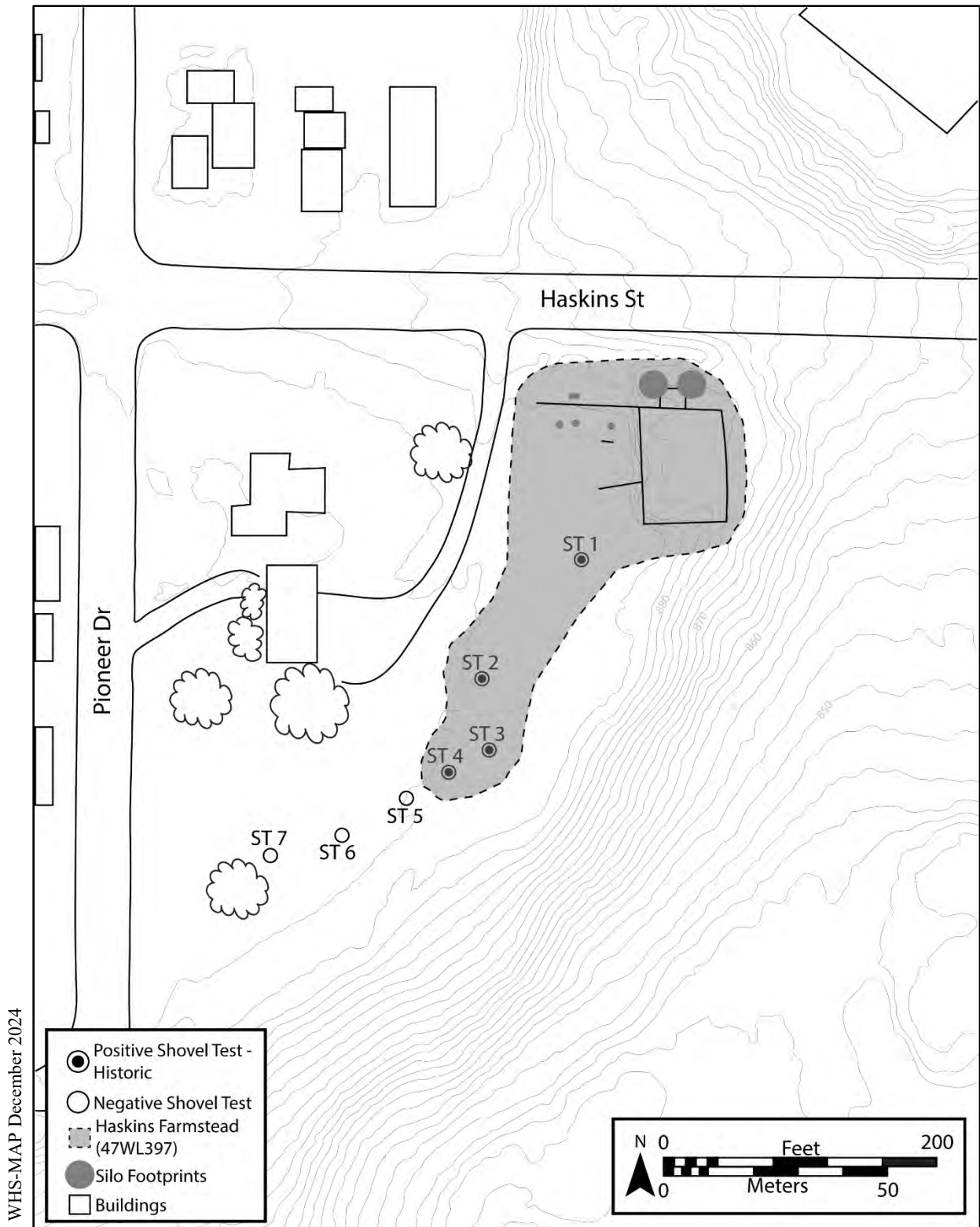


Figure 21. Map of the Haskins Farmstead (47WL397) Site.

WHS-MAP 22 August 2024



**Figure 22. Haskins Farmstead (47WL397),
Facing West along South side of Haskins St.**

WHS-MAP 22 August 2024



**Figure 23. Haskins Farmstead (47WL397),
Facing Southwest from North side of Haskins St.**

WHS-MAP 22 August 2024



**Figure 24. Probable 1870's Haskins Home, Still Extant
in Southeast Quadrant of the Haskins St-Pioneer Dr. intersection.**

WHS-MAP 22 August 2024



Figure 25. Haskins Farmstead (47WL397), Facing East along Haskins St.



**Figure 26. Haskins Farmstead (47WL397),
Facing Southeast; Site in woods at left.**

Historically, the farm was associated with the families of John and James Haskins, both of whom probably resided on the property at various times between their arrival in Lake Geneva circa 1842 and John's death in 1887. Amos Haskins, believed to be John and James' brother, also probably worked on the farm prior to John's death. John's children inherited portions of the property after their father's passing and may have continued to operate the farm. John and James Haskins pursued many other commercial and industrial ventures while they resided on their homestead, and played leading roles in shaping the economy, and eventually the municipal boundaries of the Village of Lake Geneva. Through their concession on the waterpower along the section of the White River that flowed through their land, they operated one of the village's first sawmills. Later in the century they helped form a corporation that established an agricultural implement factory on their property along the White River, ran a hardware store on the village Main St., and were deeply involved in local real estate development. Through the formal platting of part of their original farm property, the Geneva Lake Crawford Manufacturing Company's Addition was laid out. "The Crawford", as the neighborhood became known to local residents, formed a significant portion what would become the City of Lake Geneva's Third Ward.

Public Records and Historical Literature Review

A range of primary historical documents and public records were consulted in order to clarify the nature of the historic Euroamerican occupation of the Haskins Farmstead (47WL397) site, and to provide a historical context to assist in interpreting the archaeological material recovered from the site. These documents included historic plat maps, tax records, land

transaction records, census data, and probate records. Published histories of Walworth County were also consulted.

Historical Plat Maps and Aerial Photographs

The earliest historical plat map showing the Haskins property is an 1857 plat of Geneva Township (Redding and Watson 1857; Figure 27). The map indicates that “J. & J. Haskins” owned a 160 ac (64.7 ha) parcel that encompassed the Southeast Quarter of Section 25 abutting the northeast edge of the platted portion of the Village of Geneva. The White River flowed through the east half of the property, widening into a pond in the southeast quarter of the parcel. An east-west oriented road traversed the quarter section, dividing the parcel in half. The road roughly corresponds to the present alignment of Haskins St., and it appears to have dead-ended at the river. Four structures are indicated on the parcel. A single structure sat immediately south of the road and west of the White River. Two additional structures abutted the east side of the river south of the road, and one structure sat next to the west bank of the river north of the road. A label in the vicinity of the structures along the river identifies them as “Mill” or “Mills”. It is not entirely clear whether this label was intended to refer just to the structure north of the road, or to all three structures along the river. The location of the structure marked on the south side of the road west of the river approximately corresponds to that of the Haskins farm complex site and the extant house in the southeast quadrant of the intersection of Haskins St. and Pioneer Dr., immediately west of the site area.

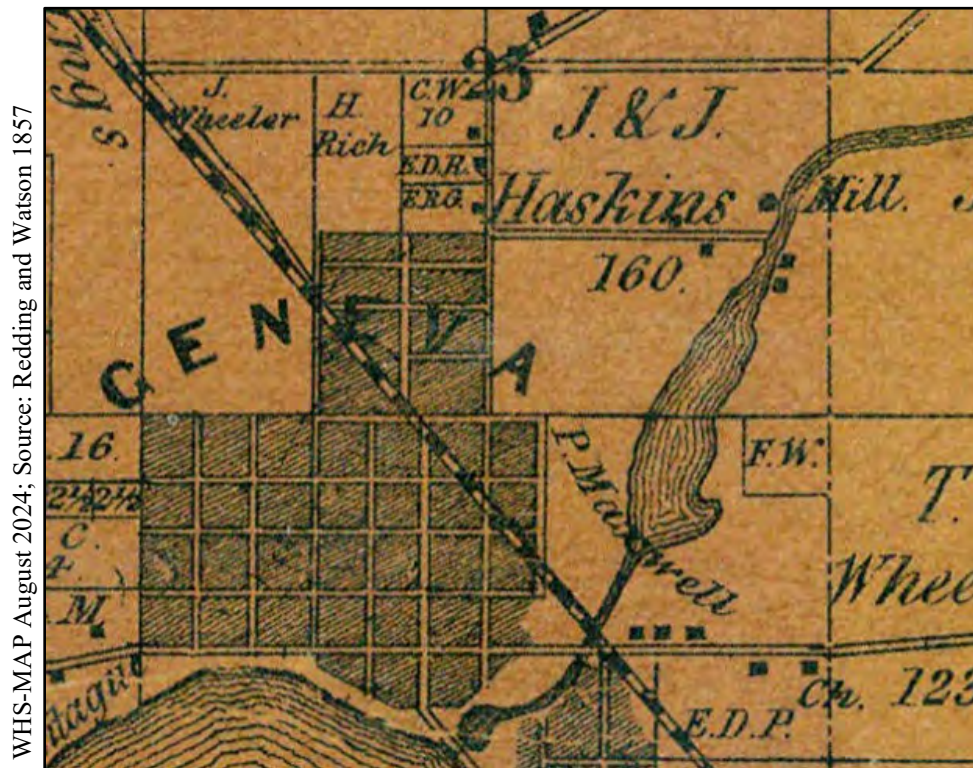


Figure 27. Detail of 1857 Plat Map of Geneva Township, Showing Haskins Property.

An 1873 plat map of Geneva Township showed the same 160 ac (64.7 ha) parcel under the ownership of “J. & J. Haskins” that appeared on the 1857 map (Everts et al. 1873; Figure

that this standing structure was in fact the nineteenth-century home of the James Haskins family, and possibly of John Haskins later in the century.

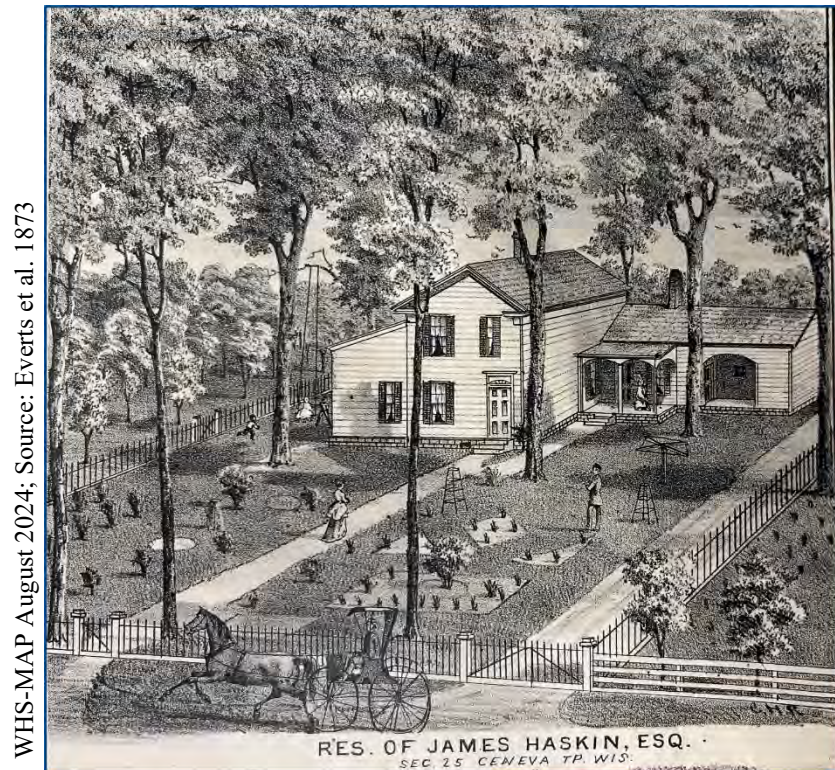


Figure 29. Lithograph of the Residence of James Haskins in 1873.

The 1876 plat map of Geneva Township indicates that sweeping changes had occurred on the Haskins property in the three years following the previous plat (Beckwith 1876; Figure 30). The entire 160 ac (64.7 ha) Haskins parcel had been subdivided and J. and J. Haskins were no longer indicated as landowners on any of the smaller parcels. The majority of the 160 acre property had been platted into small urban blocks and lots, and an urban street grid had been established. This plat is the earliest to reference Haskins St. as a formally named street. The platted lots are designated as the “Geneva Lake Crawford Manufacturing Company Addition” to the Village of Geneva. The same company was also noted as the owner of the new parcel that contained the two “black box” structures marked on the 1873 plat on the south side of Haskins St., and the Haskins Farmstead (47WL397) site. Other parcels abutting the urban block section of the Addition that were formerly part of the Haskins’ property appear under the ownership of “J. E. Burton” and “Burton and Wood”. Importantly, in place of the two “Mills” formerly marked with stars/asterisks was a large building labeled as “Factory.” The White River is still split into a main channel and a mill race diversion channel.

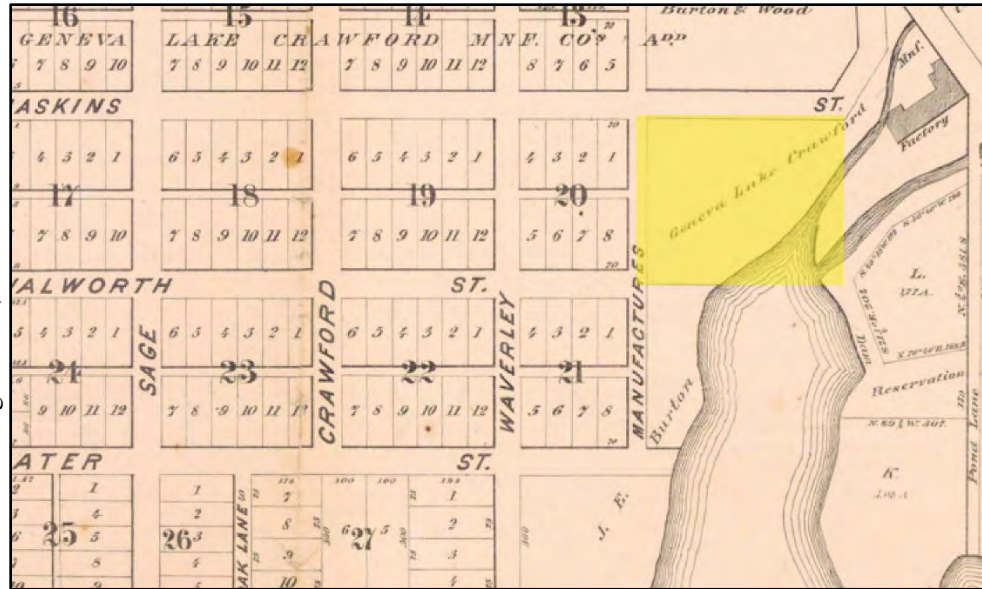


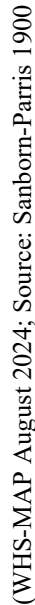
Figure 30. Detail of 1876 Plat Map of Geneva Township, Showing the Former Haskins Property.

The 1891 plat map of the Village of Lake Geneva shows another major transition in the former Haskins property (Bourquin 1891; Figure 31). Numerous structures are illustrated on the platted lots of the Geneva Lake Crawford Manufacturing Company Addition to the Village of Geneva.



Figure 31. Detail of 1891 Plat Map of the Village of Lake Geneva, Showing the Former Haskins Property.

The 1900 Sanborn-Perris Fire Insurance Map of Lake Geneva includes a detailed depiction and description of the building labeled as “Formerly an agr. impl. Fac. Buildings known as The Crawford Works” (Figure 32).



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The factory building was divided into eight rooms at the time the map was produced. The rooms are briefly described, including what appears to have been the original functions of each room during the Crawford era. These include a foundry, a black smith shop, a wood working shop, a machine shop, and wheel house. In addition, the current use is also noted for each room, such as “general storage”, “vacant”, “manufacture of post office furnishings”, and “wheel house”. A room abutting the wheel house is described as “occupied by the equitable elec. lt. co. and operated only when supply of water permits”. A smaller complex consisting of two detached building is shown south of the factory, noted as “vacant” and “to be removed”.

No descriptions of past or current use are included on the map, but these latter structures may represent the remnants of one of the Haskins’ previous mill operations. Historical sources indicate that they operated a sawmill and a linseed oil mill prior to their involvement in the Crawford Co., and records of John Haskins’ probate case demonstrate that the sawmill was still standing ca. 1887. Historical plat maps of Geneva Township produced in 1857 and 1873 also show multiple mill buildings in the vicinity of the later factory building. The 1900 fire insurance map also shows the northern end of a mill pond, a flume that carried water into a wheel house that probably contained turbines, and a tail race that carried the water back into the White River north of the factory. A key element of the 1900 map representation is the description of the building as “formerly...The Crawford Works”. This provides a nominal date at which the Crawford Co. was no longer operating the factory.

An aerial photograph showing the Village of Lake Geneva in 1937 shows the barn and silo complex that constitutes the core of the Haskins Farmstead (47WL397) site (Figure 33). Due to the image’s limited resolution, few details of these structures can be discerned, but it does confirm the general spatial relationship between the silos and the main block of the barn. Interestingly, the 1937 image also appears to show the barn in a state of disrepair. Both the barn and at least one silo appear to have lost their roofs. In the case of the barn, at least one, and possibly two, internal divisions within the structure are visible. It is not entirely clear whether these divisions are part of the upper story of the barn (exposed as a result of the removal of the roof), or partitions in the lower story that are visible because both the roof and the floor of the upper story were gone at the time the 1937 image was captured. In general, it appears that the complex had fallen into disuse sometime prior to 1937, however.

The 1937 aerial image also shows the Geneva Lake Crawford Manufacturing Co.’s factory building still standing at the east end of Haskins St. (Figure 32). As with the farm complex, it is difficult to extract useful details of the factory’s structure, or the condition of the building. It is also impossible to determine, based on visual evidence, whether or not the building was still in use at the time the image was recorded. The photo does provide a general sense of the factory’s rambling footprint as it stood in 1937. As with the barn complex, however, it is likely that the factory building(s) evolved over time and thus the 1937 footprint probably does not strictly represent the original 1870s floorplan of the factory. The City of Lake Geneva’s waste water treatment plant, that now stands on the site of the Crawford factory, was probably built in the 1940s or 50s, shortly after the 1937 image was recorded.



Figure 33. 1937 Aerial Photograph of the Village of Lake Geneva, Walworth Township, Showing the Former Haskins Property.

Tax Records

Original tax records for Geneva Township compiled during the third quarter of the nineteenth century were consulted in order to further document changes in the Haskins' land holdings and wealth (Geneva Township 1850-1876). The records included both real estate and personal property assessments for John and James individually as well as assets held jointly under the name "J. and J. Haskins". Assessments prior to 1850 were not available and probably have not survived. Records post-dating 1876 are available but were not consulted due to time limits of the current project. Research focused on the period 1850 through 1876 because it covered the period leading up to and immediately after the founding of the Geneva Lake Crawford Manufacturing Co. The Haskins played major roles in establishing the company, and it marked a defining period in both their personal lives and in the economic history of the Village of Lake Geneva.

Based on available tax records, John and James Haskins owned the 160 ac (64.7 ha) parcel in the Southeast Quarter of Section 25, that encompassed the location of the Haskins Farmstead (47WL397) site, since at least 1850 (Appendix I). They later split the parcel into two 80 ac (32.4 ha) properties, and at some point in 1870 or 1871, they sold the entire 160 ac (64.7 ha). In 1856, and again in the following year, they were assessed for the value of a "mill and water power" in Section 25. It is almost certain that the Haskins owned the water power privilege for the entire time that they held the surrounding parcel. These two assessments probably represent short-lived tax policies, and thus the period during which they appear in the records does not indicate acquisition or loss of the specified assets.

The Haskins also owned a number of smaller parcels throughout the sample period, but, importantly for understanding the land use history of the site location, none of these other properties lay within Section 25. Table 2 and Figure 34 show that the Haskins' land holdings increased sharply in 1855 and over the following decades it fluctuated considerably while never dropping below 152 ac (61.5 ha). Only after 1870, with the apparent sale of the 160 ac (64.7 ha) parcel in Section 25, does the total acreage of their holdings drop to 60 ac (24.3 ha).

Table 2. Summary of Property Values for the Haskins Families 1850-1876.

Year	Total Acreage	Total Property Value	Property Value per Acre	Total Personal Property
1850	160.0	\$3,000.00	\$18.75	\$2,814.00
1851	160.0	\$2,750.00	\$17.19	\$3,083.00
1852	160.0	\$1,375.00	\$8.59	\$2,500.00
1853	160.0	\$1,400.00	\$8.75	\$1,300.00
1854	160.0	\$1,700.00	\$10.63	\$2,000.00
1855	160.0	\$2,000.00	\$12.50	\$1,000.00
1856	220.0	\$4,720.00	\$21.45	\$1,800.00
1857	220.0	\$2,075.00	\$9.43	\$500.00
1858	232.0	\$7,120.00	\$30.69	\$6,569.00
1859	232.0	\$7,120.00	\$30.69	\$5,025.00
1860	232.0	\$7,120.00	\$30.69	\$6,717.00
1861	232.0	\$7,568.00	\$32.62	\$373.00
1862	152.0	\$3,168.00	\$20.84	\$7,006.00
1863	172.0	\$6,792.00	\$39.49	\$9,020.00
1864	172.0	\$6,592.00	\$38.33	\$7,330.00
1865	152.0	\$3,822.00	\$25.14	\$7,768.00
1866	220.0	\$7,475.00	\$33.98	\$7,455.50
1867	160.0	\$6,475.00	\$40.47	\$6,077.00
1868	220.0	\$3,700.00	\$16.82	\$10,056.00
1869	220.0	\$14,220.00	\$64.64	\$11,948.00
1870	220.0	\$12,750.00	\$57.95	\$13,920.00
1871	60.0	\$2,600.00	\$43.33	\$12,815.00
1872	60.0	\$1,800.00	\$30.00	\$19,295.00
1873	60.0	\$2,880.00	\$48.00	\$21,115.00
1874	60.0	\$2,700.00	\$45.00	\$18,760.00
1875	60.0	\$3,400.00	\$56.67	\$17,257.00
1876	60.0	\$3,820.00	\$63.67	\$2,200.00



Figure 34. Total Land Acreage Owned Individually and Jointly by John and James Haskins from 1850 Through 1876.

Geneva Township tax rolls from 1871 to 1874 include no records whatsoever for property in the Southeast Quarter of Section 25. This is notable and indicates that the land was in an unusual state of ownership during this period. The untaxed state of the land may be related to the fact that it was in the process of being formally platted into the “Geneva Lake Crawford Manufacturing Co. Addition” at some point between 1873 and 1876.

The Southeast Quarter of Section 25 appears once again in township tax rolls in 1875, with a notation stating that the “S ½ of Section [25 was] in Geneva Village.” However, the section of that year’s tax rolls detailing property within the village did not include any references to parcels in the south half of Section 25. It was only in 1876 that the “G. Lake Crawford Mfg Co’s Addition” was specifically included in the village’s property tax rolls. This was the first tax year in which landowners were assessed for lots within the addition. Among a few others, John Haskins was recorded owning Lots 1-4 on Block 20 of the addition. The number of owned/taxable lots within the addition grew steadily over the following years, but a detailed study of how this process progressed was not undertaken.

Interestingly, the Haskins’ combined personal property value, which fluctuates considerably over the sample period, does not jump up sharply in 1870/71 with the sale of their Section 25 property, which was valued at \$10,000.00 in 1870. This suggests that they either did not receive the full value of the sale of Section 25 when the transaction occurred, or they quickly spent (perhaps invested) the funds they received. Their combined personal property did increase markedly two years later, peaking at \$21,115.00 in 1873. The 1873 increase was

largely driven by a jump in the jointly held personal property of J. and J. Haskins, which rose from \$11,000.00 to \$16,005.00. Their personal wealth begins to decline over the next two years until it falls dramatically to only \$2,200.00 in 1876. This precipitous drop corresponds to the documented departure of James Haskins from Lake Geneva, and neither he nor J. and J. Haskins are listed in that year's tax rolls.

The total value of the Haskins' real estate holdings spikes dramatically higher between 1868 and 1869, as does the average value per acre of their holdings (Figures 35-36). Both metrics then drop off sharply in 1870, after which the total land value rebounds slightly in the following years, while the average value per acre increases at nearly the same rate as the previous decline.



Figure 35. Total Value of All Land Owned Individually and Jointly by John and James Haskins from 1850 Through 1876.



Figure 36. Average Per Acre Value of All Land Owned Individually and Jointly by John and James Haskins from 1850 Through 1876.

Land Transaction Records

An unsuccessful effort was made to trace the chain of title for the Haskins' 160 ac (64.7 ha) parcel in the Southeast Quarter of Section 25 using public records archived at the Walworth County Register of Deeds (WCROD) office. Despite a nontrivial commitment of time, no land deeds related to the Haskins' acquisition or sale of this parcel during the second half of the nineteenth century could be found. It is not clear if this reflects gaps in the WCROD's holdings – they have no deeds prior to 1839 – or in the office's index documents. A United States Patent Deed for the Southeast Quarter of Section 25 was granted to Sidney A. Sage in 1841, and it is believed that the Haskins purchased the parcel from Sage shortly after they arrived in Geneva Township in 1842. Annual tax rolls kept by Geneva Township represent the only currently available record of the Haskins' real estate holdings in Section 25. A U.S. patent deed records John Haskins' acquisition of a 40 ac (16.2 ha) parcel in Section 26 in 1851 (WCROD 1851). He apparently sold this land off fairly quickly, however, because it does not appear under his name in tax rolls from the period.

Census Records

Manuscript returns for Geneva Township collected during the United States Federal Population Census were consulted for the ten-year census years 1850, 1860, 1870, and 1880 for references to the Haskins families (Table 3). These records bracket the period between the Haskins' arrival in Geneva Township in 1842 through the departure of James Haskins and his family in 1876 and the death of John Haskins in 1887.

Table 3. Summary Table of U.S. Census Data from 1850-1880 for the Haskins Families.

Federal Census Year	Family #	Name	Age	Sex	Color	Relationship to Head of Family	Single	Widowed	Profession	Value of Real Estate Owned	Value of Personal Estate	Birthplace	Birthplace of Father	Birthplace of Mother	Attended School within the Year
1850	606	Harriman Couch	26	M					Chaimaker			New Hampshire			
		Phebe A Couch	19	F								New York			
	607	John Haskins	38	M					Sawyer			Massachusetts			
		James Haskins	42	M					Sawyer			Massachusetts			
		Jane Haskins	32	F								New York			
1860	67	Henry Haskins	3	M								Wisconsin			
		Frances G Haskins	1	M								Wisconsin			
		Lydia Johnson	66	F								Massachusetts			
		Amos Haskins	44	M					Sawyer			Massachusetts			
		William H Davidson	41	M					Tailor	\$600	\$100	Massachusetts			
1870	223	Rebecca Davidson	39	F								Massachusetts			
		Henry Davidson	17	M					Clothier			Ohio			X
		Emily Davidson	15	F								Ohio			X
		John Davidson	13	M								Ohio			X
		Florence Davidson	11	F								Ohio			X
1880	224	John Haskins	49	M					Hardware	\$9,500	\$7,500	Massachusetts			
		Amos Haskins	68	M	W				Farmer		\$1,500	Massachusetts			
		James Haskins	63	M	W				Farmer	\$15,000	\$14,000	Massachusetts			
		Jane Haskins	51	F	W				Keeps House			New York			
		Henry Haskins	23	M	W				Farmer			Wisconsin			
1880	224	Edwin Haskins	17	M	W				Farmer			Wisconsin			
		Wallace Haskins	11	M	W							Wisconsin			X
		John Haskins	59	M	W				Farmer	\$15,500	\$700	Massachusetts			
		Olivia Haskins	40	F	W				Keeps House			Vermont			
		Fred Haskins	13	M	W							New York			X
1880	15	Charles Haskins	13	M	W							Wisconsin			X
		John Haskins	11	M	W							Wisconsin			X
		Mary Haskins	6	F	W							Wisconsin			X
		Eugene Haskins	8/12	M	W							Wisconsin			
		John Haskins	69	M	W			X	Manufacturer of Hardware and Farm Machinery			Massachusetts	Massachusetts	Massachusetts	
1880	15	Mary O Haskins	16	F	W		X		At School			Wisconsin	Massachusetts	Vermont	X
		H. Eugene Haskins	10	M	W		X		At School			Wisconsin	Massachusetts	Vermont	X
		Elizia [Unreadable]	18	F	W		X		House Keeper			Wisconsin	New York	Wisconsin	

In 1850, The Haskins occupied two separate, but probably adjacent households. John Haskins, listed as a 38 year old sawyer from Massachusetts, lived in the household of Harriman Couch and his wife, Phebe. The relationship between John and the Couchs is not presently known, but it is notable that Harriman's profession was listed as "Chairmaker". It is possible that the two men shared at least a professional relationship that revolved around their commercial interest in wood products. James Haskins' household was located in an adjacent dwelling based on how the two families' records were numbered by the census taker. James was 42 years of age in 1850, he also worked as a sawyer and was born in Massachusetts. The household also included his presumed wife, Jane, two young children (probably the couple's offspring), and Amos Haskins, probably a brother to James and John, a 44 year old sawyer from Massachusetts. An older woman, Lydia Johnson, was also part of the household. Her relationship to the Haskins is not currently known, but she may have been Jane Haskins' mother. The fact that James' and Jane's eldest child, Henry, had been born in Wisconsin and was three years of age in 1850 indicates that the family had been in Wisconsin since at least 1847. Oddly, neither John nor James had any real estate recorded for this census year. This is in contrast to other historical sources that indicate that they owned at least 160 ac (64.7 ha) of land and the sawmill (possible another mill as well) they operated together with Amos by 1850.

Ten years later, in 1860, John Haskins was living in the household of William and Rebecca Davidson. The Davidsons were tailors and clothiers by trade. John Haskins' profession was listed as "Hardware" in 1860, and he claimed sizable real estate and personal assets; \$9,500.00 and \$7,500.00, respectively. These substantial sums are surprising given the absence of any assets in the 1850 U.S. Census record. In fact, John held significantly greater wealth than the titular head of household, William Davidson. James Haskins' household could not be located in the manuscript returns of the 1860 census, but other records, including Agricultural Census records, clearly indicate that the family lived in Geneva Township during this period.

The 1870 U.S. Census marks the first year in which John Haskins appears as the head of his own household. Other members of the household included his wife, Olivia, and four children ranging in age from 13 years to under one year. If these children are in fact the offspring of John and Olivia, it suggests that the couple had been bearing children for several years prior to the 1860 census, in which John appears to have been a bachelor tenant in the household of the Davidson family. Given that one of the eldest boys, Fred, was reportedly born in Vermont, while the other 13 year old boy was born in New York, and the remainder of the children were born in Wisconsin, the household probably included children from Olivia's previous marriage (she was reportedly a widow) and/or from some of John's relatives. The youngest of the children listed in the 1870 census, Eugene, was in fact the biological child of John and Olivia, based on other historical sources. Also note that all of the children except Eugene had reportedly attended school during the previous year. John's profession had changed again, listed as "Farmer." The value of his real estate holdings increased to \$15,500.00, up markedly in the ten years since the 1860 census, while his personal assets had fallen dramatically to \$700.00.

James Haskins' household appeared in the 1870 Census as well. James was listed a farmer by trade, with \$15,000.00 in real estate holdings and \$14,000.00 in personal assets. Amos Haskins also appears in the 1870 U.S. Census, living alone in a dwelling adjacent to John's family's home (U.S. Census 1870). The three brothers' households are listed sequentially in the manuscript returns, but each occupied a separate dwelling, suggesting that all three families lived near one another. This arrangement is consistent with the three dwellings marked on the 160 ac (34.7 ha) parcel in the Southeast Quarter of Section 25 owned by James and John Haskins in 1873. Like his brothers, Amos' profession was listed as "Farmer". He apparently held no real estate but claimed \$1,500.00 in personal assets. The lack of real estate holdings suggests that Amos was farming on land owned by his brothers.

Finally, the 1880 U.S. Census shows John Haskins as head of household and widower, as Olivia had died in 1876. The only children in the household were Mary and H. Eugene, both of whom were present in the previous census record. A presumably unrelated housekeeper also lived with the family. John's line of work was described as "Manufacturer of Hardware and Farm Machinery." As in the 1850 census, neither John's real estate nor personal assets are valued in this census year. According to other sources, James Haskins had moved away from Lake Geneva in 1876, and as such did not appear in the Geneva Township returns for the 1880 U.S. Census.

Manuscript returns from the U.S. Census of Agriculture for Geneva Township were also examined to find evidence of the farming activities carried out at the Haskins Farmstead (47WL397) site by the Haskins family (Tables 4-6). Records related to James Haskins were identified from census years 1850-1870, but, interestingly, John Haskins is not named in Agricultural Census documents from any of these years. This suggests that of the three Haskins brothers, Amos, James, and John, it was James who was primarily associated with the family's farming activities. As a result, he would have been most closely involved with the development and evolution of the farm complex that constitutes the Haskins Farmstead (47WL397) site. Further, it was James' family that occupied the house marked on historic plat maps immediately west of the location of the farm complex prior to their departure in 1876. This is supported by the 1873 lithograph of the residence of James Haskins, which strongly resembles the extant home in the southeast quadrant of the intersection of Haskins St. and Pioneer Dr.

In the 1850 Agricultural Census, James' farm property consisted of 80 ac (32.4 ha) of improved land and 80 ac (32.4 ha) of unimproved land (Table 4). This accounts for the entire 160 ac (64.7) property associated with "J. & J. Haskins" on the 1857 plat of Geneva Township (U.S. Census 1850). The farm was valued at \$3,000.00, and the family owned \$20.00 worth of farm implements and equipment. Their livestock included two "milch" cows, two working oxen, two other cattle, eight sheep, and two swine, valued collectively at \$120.00. In the previous year, James reported harvesting 20 bushels of corn, 40 of oats, and 80 of potatoes. The farm also produced 15 tons of hay, and 200 pounds of butter. It is unclear if the family consumed all of the butter they produced, or if they produced a surplus that they sold/bartered for other goods and services.

**Table 4. Summary Table of Details of the James Haskins Farm
from the 1850 U.S. Census of Agriculture.**

Basic Farm	Acres of Land Improved	Acres of Land Unimproved	Cash Value of Farm	Value of Farming Implements and Machinery	Value of Live Stock	Value of Animals Slaughtered	Value of Orchard Products	Value of Home Manufactured Products
	80	80	\$3,000	\$20	\$120	\$25	\$0	\$0
Live Stock	Horses	Asses and Mules	Milch Cows	Working Oxen	Other Cattle	Sheep	Swine	
	0	0	2	2	2	8	2	
Crops	Wheat (bushels)	Rye (bushels)	Indian Corn (bushels)	Oats (bushels)	Irish Potatoes (bushels)	Barley (bushels)	Buck-wheat (bushels)	
	0	0	20	40	80	0	0	
	Tons of Hay	Clover Seed (bushels)	Grass Seed (bushels)	Hops (lbs.)	Hemp (tons)	Flax (lbs.)	Flax Seed (bushels)	
	15	0	0	0	0	0	0	
Animal and Manufactured Products	Beeswax (lbs.)	Honey (lbs.)	Butter (lbs.)	Cheese (lbs.)	Wool (lbs.)			
	0	0	200	0	0			

James' farming operation expanded significantly in the decade of the 1850s, as evidenced by the 1860 U.S. Census of Agriculture (Table 5; U.S. Census 1860). The family had completed improvements to the entire 160 ac (64.7 ha) farm by 1860, and its cash value had more than doubled to \$5,000.00. The value of the farm's agricultural implements and machinery quadrupled to \$80.00, and the value of the farm's livestock more than doubled to \$250.00. This latter increase reflected the addition of four "milch" cows and 13 sheep.

James also reported having slaughtered \$100 worth of animals, which he presumably processed for consumption. Crop production had increased significantly, and there was a shift from oats to wheat during the 1850s. The volume of hay harvested in 1860 was markedly higher than in the previous decade, probably driven by the need to provide feed for the larger herd of milk cows. James reported producing 400 pounds of butter and 80 pounds of wool, along with \$25.00 worth of unspecified orchard products. The doubling of the family's butter production in 1860 strongly suggests that they were intentionally producing a surplus in order to exchange it for hard currency or for in-kind goods and/or services.

**Table 5. Summary Table of Details of the James Haskins Farm
from the 1860 U.S. Census of Agriculture.**

Basic Farm	Acres of Land Improved	Acres of Land Unimproved	Cash Value of Farm	Value of Farming Implements and Machinery	Value of Live Stock	Value of Animals Slaughtered	Value of Orchard Products	Value of Home Manufactured Products
	160	0	\$5,000	\$80	\$250	\$100	\$25	\$0
Live Stock	Horses	Asses and Mules	Milch Cows	Working Oxen	Other Cattle	Sheep	Swine	
	0	0	6	2	2	21	2	
Crops	Wheat (bushels)	Rye (bushels)	Indian Corn (bushels)	Oats (bushels)	Irish Potatoes (bushels)	Barley (bushels)	Buck-wheat (bushels)	
	15	0	50	0	100	0	0	
	Tons of Hay	Clover Seed (bushels)	Grass Seed (bushels)	Hops (lbs.)	Hemp (tons)	Flax (lbs.)	Flax Seed (bushels)	
	35	0	0	0	0	0	0	
Animal and Manufactured Products	Beeswax (lbs.)	Honey (lbs.)	Butter (lbs.)	Cheese (lbs.)	Wool (lbs.)			
	0	0	400	0	80			

The 1870 Agricultural Census shows radical change in James' farming activities (Table 6; U.S. Census 1870). Fundamentally, the total acreage of the farm had been essentially cut in half to 63 ac (25.5 ha) of improved land. Oddly, the 1870 census data also omits both an overall value of the farm and the value of farming implements. Additionally, no livestock is reported for this census year. Crop production has shifted almost exclusively to corn (600 bushels), along with modest amounts of potatoes (200 bushels) and hay (40 tons).

The shifts revealed in the 1870 U.S. Agricultural Census suggest that James' farming activities had gone into a period of sharp decline. A significant portion of the property, approximately 97 ac (39.3 ha), had been taken out of farming use for reasons that are not currently known. The omitting of the farm's value is peculiar, given that he and John still jointly owned the entire 160 ac (64.7 ha) farm property based on Geneva Township tax rolls.

The scope of the farming operation had also been sharply narrowed, focusing almost exclusively on production of corn. The farm's production profile in 1870 approaches a mono-cropping strategy, suggesting that corn was being produced primarily as a market commodity, although some may have been consumed as subsistence as well. The historically large potato crop (200 bushels) reported by James in 1870 may have served both commodity and subsistence demands. In the absence of livestock, the farm's output of hay was also probably commodity market oriented.

**Table 6. Summary able of Details of the James Haskins Farm
from the 1870 U.S. Census of Agriculture.**

Basic Farm	Acres of Land Improved	Acres of Land Unimproved (Wooded)	Acres of Land Unimproved (Other)	Present Dollar Value of Farm	Present Dollar Value of Farming Implements and Machinery	Value of Live Stock	Value of Animals Slaughtered or Sold
	63	0	0	\$0	\$0	\$0	\$0
	Value of Orchard Products	Value of Produce and Market Garden	Value of Milk Sold	Value of Forest Products	Value of Home Manufactures	Total Value of Farm Products	Total Wages Paid
	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Live Stock	Horses	Asses and Mules	Milch Cows	Working Oxen	Other Cattle	Sheep	Swine
	0	0	0	0	0	0	0
Crops	Spring Wheat (bushels)	Winter Wheat (bushels)	Rye (bushels)	Indian Corn (bushels)	Oats (bushels)	Barley (bushels)	Buckwheat (bushels)
	0	0	0	600	0	0	0
	Rice (lbs.)	Tobacco (lbs.)	Cotton (lbs.)	Peas and Beans (bushels)	Potatoes - Irish (bushels)	Potatoes - Sweet (bushels)	Hay (tons)
	0	0	0	0	200	0	40
	Clover Seed (bushels)	Grass Seed (bushels)	Hops (lbs.)	Hemp (tons)	Flax (lbs.)	Flax Seed (bushels)	
	0	0	0	0	0	0	
Animal and Manufactured Products	Wine (gals.)	Butter (lbs.)	Cheese (lbs.)	Sugar - Maple (gals.)	Sugar - Cane (lbs.)		
	0	0	0	0	0		
	Molasses (lbs.)	Beeswax (lbs.)	Honey (lbs.)	Wool (lbs.)			
	0	0	0	0			

Note that in the Population Schedule of the 1870 U.S. Census, both Amos and John Haskins' professions were listed as "Farmer", but no farm was listed under either of their names in the Agricultural Census for that same year. Additionally, James' two eldest sons, Henry and Edwin, also reported that they worked as farmers. It is not clear whether the five men were jointly working the farm listed under James' name.

Published historical sources state that James Haskins moved away from Geneva Township in 1876, and thus he is not listed in the township's manuscript returns for the 1880 U.S. Agricultural Census. It is likely that the farm continued to operate after his departure, however, based on visible changes to the farm complex that occurred later in the nineteenth century (e.g., the construction of above-ground silos). Additional research is needed to determine whether the farm was taken over by one of the other Haskins brothers (presumable

Amos given that John was heavily involved in the formation of the Geneva Lake Crawford Manufacturing Company at this time) or perhaps leased out to another, as yet unknown, farmer.

The 1880 U.S. Census of Manufactures included a listing for the Crawford Manufacturing Company, providing useful insights into the firm's general operations (Table 7; U.S. Census 1880b). The company reported \$75,000.00 in capital at the time of the census. The company held \$3,600.00 worth of raw materials, consisting of \$400.00 in lumber, \$1,165.00 in iron and steel, and \$2,035.00 of "other materials."

Table 7. Summary Table of Details of the Geneva Lake Crawford Manufacturing Co. from the 1880 U.S. Census of Manufactures.

Company	Capital	Value of Materials Used in Manufacturing				Months in Operation		Total Annual Wages Paid
		Lumber	Iron and Steel	Other	Total	Full Time	3/4 Time	
	\$75,000.00	\$400.00	\$1,165.00	\$2,035.00	\$3,600.00	6	3	\$9,461.00
Labor	Max. Concurrent Employees	Average No. of Employees			No. of Hours in Typical Work Day		Average Daily Wage for Skilled Mechanic	Average Daily Wage for Ordinary Laborer
		Males > 16 Years Old	Females > 15 Years Old	Children/ Youth	May to Nov.	Nov. to May		
	40	2.25	0	1	10	9	\$2.00	\$1.50
Power Source	Water Source	Height of Falls (ft.)	Wheels					
			No.	Type	Breadth (ft.)	Revolutions per Minute	Horse-power	
	Outlet of Lake Geneva	11	2	Turbine	2.5	140	35	
Products	Cultivators	Hay-Tedders	Horse-Rakes	Mowers	Reaper-Mower Combinations	Hay Carriers	Value of Products	
							Other Products not Specified	Total of All Products
	56	135	25	50	63	5	\$1,225.00	\$14,657.00

The workforce peaked at 40 employees during the previous year, but on average the factory employed 2.25 men and one child/youth. Workdays were typically ten hours long between May and November, and nine hours during the winter months. Wages ranged from \$2.00 per day for a skilled worker to \$1.50 per day for an "ordinary laborer", and in total the company had paid out \$9,461.00 in wages that year. The factory had operated on a full-time schedule for six months of the year, on a part-time basis for three months, and had been idle for the remaining three months. The 1880 census data confirms that the factory ran on water power drawn from the "Outlet of Lake Geneva" (i.e., the White River), and its two turbines

generated 35 horsepower from an 11 ft (3.4 m) fall. The factory's production for the previous year consisted of 56 cultivators, 135 hay tedders, 25 horse rakes, 50 mowers, 63 combination reapers/mowers, and 35 hay carriers. The total value of the factory's annual output was estimated at \$14,657.00.

Assuming that the figures reported in the 1880 U.S. Census are accurate (they were self-reported and not audited), the Crawford Works was still financially solvent and productive at that point in time. It is difficult to evaluate more concretely without data from other businesses from the same period for comparison, but the Crawford's capital, labor, and production numbers paint a picture of a somewhat marginal business in terms of profitability. With an estimated output of just over \$14,000.00 worth of product, at a cost of over \$9,000.00 in wages and an undisclosed amount of materials and expenses related to upkeep of the factory, profit margin was probably slim to non-existent. This analysis is based on only one year's worth of data, and it is probably not representative of the firm's average operations. However, it does provide a glimpse of the state of the company roughly four years after its founding. Other internal financial records of the company have not yet been found, so the 1880 U.S. Census data, and a very limited number of public records from the company's Board of Directors, may be the only reference materials on the business that have been preserved.

Probate Records

John Haskins passed away in the City of Lake Geneva on 29 December 1887 (WCROD 1887-1890). A very lengthy and convoluted probate process followed, owing to the extent and complexity of John's assets, and the large number of "investors" in the Geneva Lake Crawford Manufacturing Company. The probate case was not resolved until late-1890 (WCROD 1887-1890). Appendix II contains the full record of John Haskins' probate case.

John's will directed that John V. Seymour, John H.'s son by his marriage to Olivia Vose Seymour, should receive ownership of what John H. describes as:

My homestead where I now live, bounded on the north by Haskins street, on the west by Manufacturer's avenue, on the south by Water street and mill-pond, and on the east by the mill-pond

WCROD 1887-1890: unpaginated

John H. also wished for Seymour to receive his "black horse known by the name of 'Prince'", and to retain the "right of way across the two mill races west of the old wooden mill". John H.'s son, Henry Eugene Haskins, was to receive Lots 1 and 2 of Block 19 of the Geneva Lake Crawford Manufacturing Co.'s Addition to the City of Lake Geneva. Finally, John H. bequeathed to Mary O. Blakesley – the nature of their relationship is not currently known – Lots 3 and 4 of Block 19 of the Geneva Lake Crawford Manufacturing Co.'s Addition. John H. appointed Edward Cheney as the executor of his estate.

A detailed review of the entire probate record is beyond the scope of the present project. However, the document contains extremely interesting information relative to both John Haskins' life and business ventures. The probate record includes a list of investors in the Geneva Lake Crawford Manufacturing Co. who were still owed debts; an inventory of John's real estate holdings; and a detailed room by room inventory of his factory building, warehouse, office, sawmill, and home. The inventory of his home included a title by title inventory of his library, and an extensive list of farm implements and machinery.

A few general facts of relevance to the present study emerge from a cursory review of John H.'s will and the detailed inventories prepared as part of the probate process. The "homestead" that John describes in his will encompasses the location of the farm complex that constitutes the Haskins Farmstead (47WL397) site and would have also included the location of the extant house that stands in the southeast quadrant of the Haskins St.-Pioneer Dr. intersection. As noted above, a lithograph produced in 1873 depicting the residence of James Haskins closely resembles the extant house. This suggests that John moved into the former home of his brother James when the latter moved away from Geneva Township with his family in 1876. The sawmill building and lumber inventoried as part of the probate process may have been the site of the original sawmill built by John and James in the early 1840s, thus indicating that it was still extant at the time of the probate case in the late-1880s. The fact that the inventory of John's home included a substantial array of farm tools implies that he had not fully abandoned farming despite having been deeply engaged in his manufacturing endeavors for the last decade of his life. Finally, the number of historical titles in his library, including a history of Walworth county, several Civil War-related volumes, and two books on general U.S. history, reveal John's keen interest in American historical subjects.

Published Historical Sources

A history of Lake Geneva published in 1897 states that:

John Haskins, a native of Massachusetts, came here [Lake Geneva] with his brother James in the spring of 1842, and they bought and improved the water power on section 25...He made this his home until his death, Nov. 29, 1887. James Haskins, his brother, sold his interest in the property to John about the year 1875, and removed to Illinois, where he died in 1888.

(Simmons 1897:73)

A massive flood in 1851 reportedly destroyed the Haskins' mill dam on the White River (Simmons 1897:108). A few years prior to 1852, they had installed cloth-dressing and wool-carding machinery in a small structure near their sawmill (Simmons 1897:110). They rented out the machinery to various operators as late as 1889 (Simmons 1897:110). Sometime in the 1850s the Haskins and a partner named Stevens added a linseed oil pressing mill to their complex, but the business was short lived due to difficulties maintaining the supply of flax seed from local farms (Simmons 1897:110-111). In 1855, John and James opened a hardware store "on the south side of Main Street" which they sold after a year and then re-acquired

several years later (Simmons 1897:115). They continued to run the store until 1863 when they sold it for the second and final time (Simmons 1897:116). One of the Haskins brothers, either John or James, was one of the leaders in a campaign to acquire a charter for the State Line & Union Railroad Company, and construction was completed in the summer of 1871 (Simmons 1897:140). The Haskins were also involved in several real estate ventures related to commercial development along Main St. during the 1870s and 1880s (Simmons 1897:164, 193).

A history of Walworth County published in 1882 states that John Haskins was born in the Town of Washington, Berkshire County, Massachusetts, in 1811 (Western Historical Company 1882:904o). He moved to Ontario County, New York, in 1837, and then to Geneva Township in the spring of 1842 (Western Historical Company 1882). Along with his brother James, he immediately began improving the water power on the property they purchased, and they built a sawmill that began operating early in 1844 (Western Historical Company 1882). This clearly refers to the brothers' property in the Southeast Quarter of Section 25 along the White River. The mill ran until 1875 and was still standing when the volume was published in 1882 (Western Historical Company 1882). The published biography notes that "Mr. J. Haskins is sole proprietor" of his business (Ibid.). The same volume also mentions that James B. Nethercut had been employed as the book-keeper for the John Haskins Manufacturing Co. since 1878 (Western Historical Company 1882:906q). The 1882 volume contains a brief description of the John Haskins Manufacturing Company, characterizing it as the "successor of the Crawford Manufacturing Company, and still conducts essentially the business first started in 1875" (Western Historical Company 1882:895f).

Other Primary Documents

The Geneva Lake Museum (GLM) archives hold original documents related to the Geneva Lake Crawford Manufacturing Co. Among these items are several examples of undated company stationary, envelopes printed with advertising, and an elaborate, double-sided advertising card in the form of an acrostic (Figure 37; Anon. n.d.). An original printed booklet of the Charter and Bylaws of the Geneva Lake Crawford Manufacturing Co., dated February 1875, was also part of the GLM's holdings. The document identifies J. F. Crawford as President and a member of the Board of Directors, and John Haskins as Treasurer and a member of the Board of Directors (Anon. 1875a). The company charter states that John and James Haskins, along with several other men, filed Articles of Association for the company, and these were approved in by the State of Wisconsin in January of 1875 (Anon. 1875a). The company claimed \$100,000.00 in capital in their filing. An Annual Report of the Business of the Geneva Lake Crawford Manufacturing Co. dated January 1875 stated that the company had sold 459 machines during the previous year, and its assets stood at \$161,884.24 versus liabilities of \$51,908.24 (Anon. 1875b). A pre-printed piece of stationary with company letterhead printed in 1876 indicates that the corporation's leadership had shifted since its founding in the previous year; John Haskins was now President, and J. E. Burton was Secretary (Anon. 1876).

413 - 1358

REASONS FOR BUYING

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 having stiff bar platform
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 what the Machines will do
 All our combined Machines have
 two motions, fast or slow
 height of Driver can be so adjusted
 as to balance the Power
 five Rakes working automatically,
 or at will of the driver
 offered to the Farming Public as a
 model of Perfection
 Rock Arm Motion connecting Pitman,
 considered by all, extra
 durability is warranted, as the
 frame is made entirely of iron
 It has the Gearing all securely
 and safely boxed
 Main frame not disturbed by ob-
 structions striking cutter bar
 Power concentrated in the
 centre of the Machine
 regulates the height of cut
 by the best tilting lever in America
 obstructions passed by folding
 cutter bar, or raising it up
 every small gearing, thus securing
 open space under Machine
 extras always kept by Agents
 selling the Mower and Reaper
 Draft rod over-comes side-draft by
 connecting Evener with cutting apparatus

PROPERTY OF GENEVA
LAKE CRAWFORD MANUFACTURING CO.

We use the best Iron in market : All Castings
 of the most superior quality, strength and fin-
 ish. We invite comparison, and challenge com-
 petition. (Over)

Figure 37. Undated Advertising Card from the Geneva Lake Crawford Manufacturing Co. Based on an Acrostic Motif.

An illustrated catalogue printed in 1877 offers an overview of the company's products for that year (Figure 38; Anon. 1877). The catalogue features the company's improved reaper, improved mower, and improved reaper and mower combination implements, along with customer testimonials and a list of sales agents in Wisconsin, Minnesota, Michigan, Illinois, Iowa, and Indiana (Figure 39). These documents provide a general picture of the company's early years, but internal records of the firm's evolution in later decades have not yet been located. As mentioned above, the company was enumerated in the 1880 U.S. Census of Manufactures, indicating that it remained a going concern at least through the end of that decade. Comments appearing on the 1900 Sanborn-Peris Fire Insurance Map of Lake Geneva make it clear, however, that the factory building was no longer being used by the company by that date.

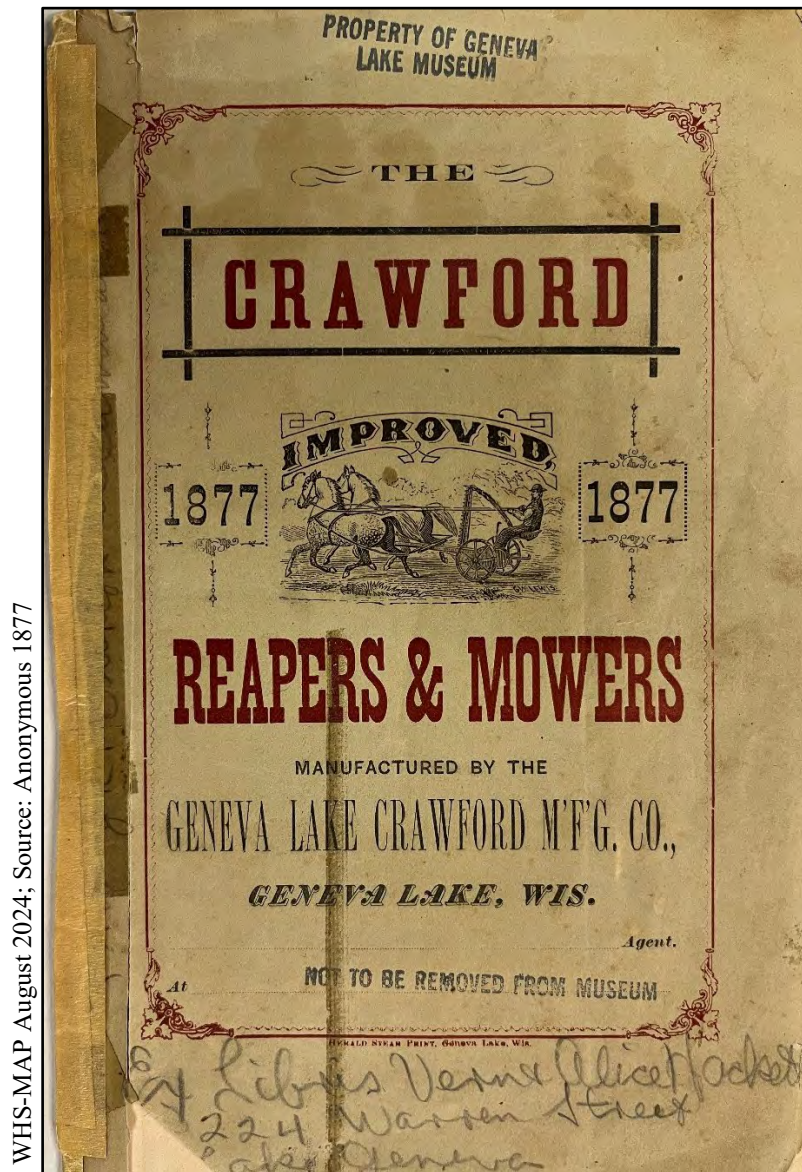


Figure 38. Cover of the Geneva Lake Crawford Manufacturing Company's 1877 Product Catalogue.



Figure 39. Illustration of the Geneva Lake Crawford Manufacturing Company's Improved Reaper Machine from the 1877 Product Catalogue.

Results of 2024 Field Investigation

Phase I investigation of the Haskins Farmstead (47WL397) site identified five primary above-ground features, several smaller structural features, and 59 historic-period artifacts. The above-ground features represent elements of a farm complex that consisted of a barn, silos, engine/pump footing, and retaining wall. Construction date features cannot be precisely determined, but construction methods are consistent with those employed during the second half of the nineteenth century and early-twentieth century. Eleven artifacts were collected from the surface of the site in the vicinity of the above-ground features, while the remainder were found in subsurface contexts. The artifact assemblage consists primarily of building materials and fasteners, and domestic ceramic and glass vessel fragments. None of the objects possess any closely-dated attributes, but most are generally consistent with the documented period of occupation of the site; circa 1842 through the early-twentieth century. A small number of mid-twentieth-century artifacts were found in Ap horizon and fill soil contexts.

Features

Five primary above-ground features were defined during the 2024 Phase I survey of the Haskins Farmstead (47WL397) site (Figure 21). Features 1 and 2 are mortar and cobblestone silo foundations connected by short mortar and cobblestone walls (Features 1A, 2A, and 1-2). Feature 3 is a mortar and cobblestone barn foundation wall and retaining wall. Several smaller features were associated with the foundation/retaining wall: Feature 3A is a concrete pad with four large threaded lag bolts, Features 3B-3D are small concrete footings; and

Feature 3E is a short segment of mortared cobblestone footing wall. Feature 4 is a mortared cobblestone barn foundation wall, and Feature 4A is a short segment of a narrow concrete slab or walkway. Feature 5 is a mortared cobblestone barn footing wall.

As noted in the Field Methods section, above, all structural features were mapped using a 30 centimeter accuracy Trimble® GNNS unit. All features except Features 3B-3D were photographed from multiple points-of-view, and scaled plan drawings were created for Features 1, 2, and 3A. Profile drawings were also completed for Features 1 and 2. Descriptive data, including measurements and general observations, were also recorded for all features.

Features 1 and 2 (Silo Foundations). Features 1 and 2 are large circular mortared cobblestone masonry structures located at the north end of the site area between the barn foundation (Features 3, 4, and 5) and the south side of Haskins St. (Figures 21, 40-45). The north edges of the silo structures lie approximately six meters (20 ft) south of the curb on the south side of the street. A steep slope descends from the top of the artificial terrace into which the silos were built to street level. The silos are attached to the north side of the barn by a small antechamber (Features 1A, 2A, and 1-2), and were accessible from the lower story of the barn through small doorways in the southeast (Feature 1) and southwest (Feature 2) arcs of the silo foundations. The floor of the antechamber appears to have been elevated several feet above the base of silos and the floor of the barn's lower story.



WHS-MAP 19 August 2024

Figure 40. Haskins Farmstead (47WL397), Facing East, Showing Feature 1, Silo Foundation, from West of Feature 1.

WHS-MAP 19 August 2024



Figure 41. Haskins Farmstead (47WL397), Facing West, Showing Feature 1, Silo Foundation, from East of Feature 1.

WHS-MAP 19 August 2024



Figure 42. Haskins Farmstead (47WL397), Facing North, Showing Feature 2, Silo Foundation, from South of Feature 2.

WHS-MAP 19 August 2024



Figure 43. Haskins Farmstead (47WL397), Facing South, Showing Feature 2, Silo Foundation, from North of Feature 2.

WHS-MAP 19 August 2024



Figure 44. Haskins Farmstead (47WL397), Facing North, Showing Features 1 and 2 from South of Features Access Doors in Silo Walls.



Figure 45. Haskins Farmstead (47WL397), Facing Southwest, Showing Feature 1 with Crew Looking Northeast.

The outer diameter of the features is roughly six meters (20 ft), and the walls are generally 0.5 m (1.6 ft) thick, resulting in interior diameter of 5.5 m (18 ft; Figure 46). The maximum depth of the silos, as measured from the top of the surviving wall sections, was 0.89 m (three feet) for Feature 1, and 1.95 m (6.4 ft) for Feature 2. The original height of the silo walls is not known, but based on the rough, irregular nature of the upper masonry courses of the structures it is clear that they were originally taller than at present. It is possible that the entire height of the silo walls (again, not currently known) were constructed of cobblestone masonry, or they may have consisted of framed upper walls built atop lower masonry structures. Note that no obvious anchor points for wooden upper structures were observed.

The silo foundation walls were constructed with mortared masonry using a combination of coarsely shaped angular rock, natural cobbles, and split cobbles oriented with the flat, split faces on the interior surface of the wall (Figure 47). The interior surface of the silos has been covered with a thin coat of cement that has spalled off in a number of places.

The date of construction of the Haskins' silos is not precisely known. It is possible that each of the silos was built at a different time, and they may have been added to the barn after the core of the latter had been built. However, the silos were probably built no earlier than the fourth quarter of the nineteenth century. The first known above ground silo in Wisconsin was constructed in 1877 (ISA n.d.:8).

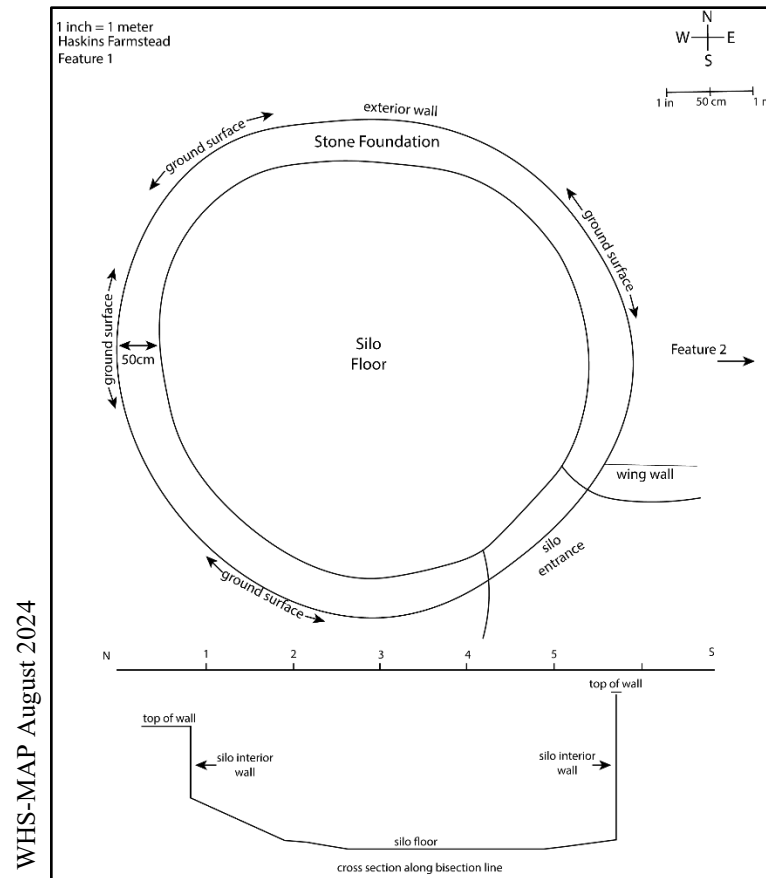


Figure 46. Scaled Plan View and Profile of Feature 1 (Silo Foundation) at the Haskins Farmstead (47WL397) Site.



Figure 47. Haskins Farmstead (47WL397), Facing East, Showing the Interior Masonry Surface of Feature 1.

Among other things, the production of silage for winter feeding of animals that normally required pasture grazing allowed Wisconsin's farmers to extend their dairy herds' productive period into the winter months. The broader adoption of silos was thus closely related to farmers' efforts to intensify dairy production in the latter decades of the century.

Additionally, portland cement, which is present in the Haskins' silos, began to be used more frequently for conventional masonry structures in the United States during the fourth quarter of the nineteenth century. The fact that the silos incorporated this relatively novel material corresponds to the same late-nineteenth-century period when Midwestern U.S. farmers began utilizing silos. The construction methods used to build the antechamber walls that connected the bases of the silos to the north barn foundation wall appear somewhat different – courser and utilizing smaller cobbles – than that of either the silos or the barn. This suggests that the silos and barn were not constructed at the same time, and that the silos and antechamber were probably later additions to the farm complex.

Feature 3 (Foundation/Retaining Wall). Feature 3 is a linear wall located in the northern portion of the site, oriented roughly east-west and approximately parallel to Haskins St., 16 meters south of the south curb line (Figures 21, 48-50). Feature 3 lies immediately south of Features 1 and 2 (silos) and is connected to the silo antechamber structure (Features 1A, 2A, and 1-2). The total east-west length of Feature 3 is 31 m (102 ft), and the wall is roughly 0.5 m (1.6 ft) thick (north-south). The east 14 m (46 ft) served as the north foundation wall for the barn building, and the west and east foundation walls (Features 4 and 5, respectively) intersect Feature 3 to form the northwest and northeast corners of the structure.



WHS-MAP 20 August 2024

Figure 48. Haskins Farmstead (47WL397), Facing Southwest, Showing Exposed Pipe Segment Associated with Feature 3.

WHS-MAP 19 August 2024



Figure 49. Haskins Farmstead (47WL397), Facing South, Showing Feature 3 and Feature 4.

WHS-MAP 19 August 2024



Figure 50. Haskins Farmstead (47WL397), Facing East Showing Feature 3.

Feature 3 varies in height from 0.24 to 0.72 m (0.8 to 2.4 ft) above ground surface, and the irregular upper surface along its entire length indicates that it was originally taller than at present. The original height remains unknown, however, and almost certainly varied from the western terrace wall to the eastern barn foundation wall. The west 18 m (60 ft) functioned as a terrace wall that extended west from the barn's northwest corner to create a level yard space west of the barn's west wall. The feature consists of mortared masonry using a combination of coarsely shaped angular rock, natural cobbles, and split cobbles oriented with the flat, split faces on the interior surface of the wall

Feature 3A (Concrete Slab with Lag Bolts). Feature 3A is a concrete pad located in the north portion of the site between Feature 3 and the Haskins St., ten meters south of the south curb line (Figures 21, 51-52). The south edge of the slab is 0.70 m (2.3 ft) north of the north side of Feature 3, and approximately 10 m (33 ft) west of Feature 1. The concrete slab of Feature 3A measures approximately 2.5 m (8.2 ft) east-west by 1.1 m (3.6 ft) north-south (Figure 53). The west one-third of the slab is badly fragmented making it difficult to accurately estimate the original east-west dimension of the structure. The north edge of the slab is raised 0.28 m (one foot) above ground surface, the south edge is flush with the ground, and an inner slab is elevated slightly above the upper surface of the outer slab. Six threaded tie rods are embedded in the inner slab.



Figure 51. Haskins Farmstead (47WL397), Facing West, Showing Feature 3A.

WHS-MAP 19 August 2024

WHS-MAP 19 August 2024



Figure 52. Haskins Farmstead (47WL397), Facing East, Showing Feature 3A.

WHS-MAP August 2024

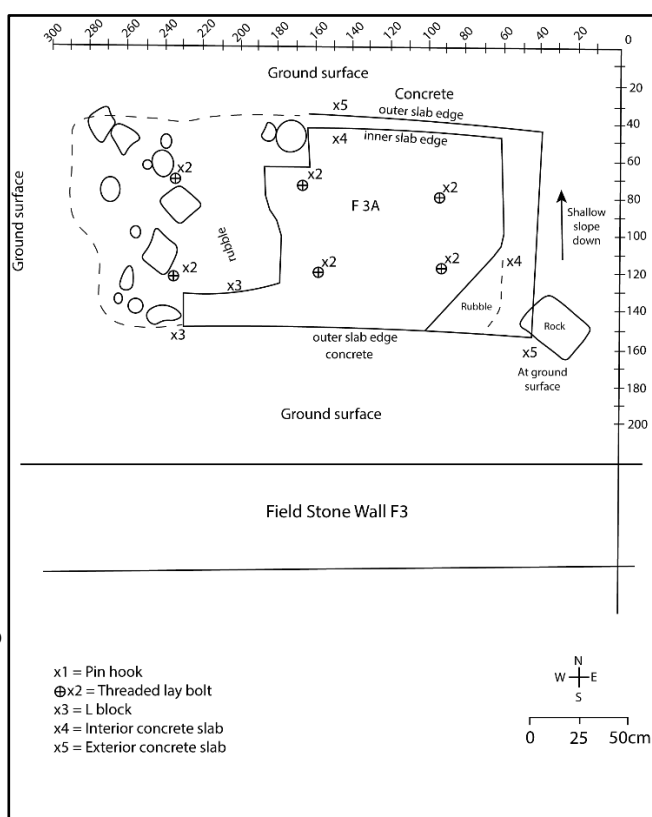


Figure 53. Scaled Plan View of Feature 3A at the Haskins Farmstead (47WL397) Site.

Feature 3A was probably a footing for an engine/motor and pump. A segment of steel pipe was observed west of Feature 3A, parallel to Feature 3 (Foundation/Retaining Wall). The system was likely used to transport water to the animal pen area in the lower floor of the barn. As with other structures at the site, it is not known when Feature 3A was built. It was probably not built at the same time as the barn and is likely a later addition to the farm complex.

Features 3B-3D (Poured Concrete Footings). Features 3B-3D are small concrete footings located in the north portion of the site, 4.4 m (14.5 ft) south of Feature 3 and west of Feature 4 (Figure 21). The features are aligned in a roughly east-west oriented line, with Feature 3B 4.6 m (15 ft) west of Feature 4, Feature 3C six meters (20 ft) west of Feature 3B, and Feature 3D 2.6 m (8.5 ft) west of Feature 3C. Each feature consists of a poured concrete footing with a very consistent circular cross section, measuring 30 cm (one foot) in diameter. The tops of the features are flush with the ground surface of the barn yard terrace, and their upper faces have no visible remnants of anchoring mechanisms.

The presence of these footings within the barn yard terrace area indicates that there was at least one structure standing in the yard at some point in the farm's history, but the function of said structure(s) is not known at present. As with other features at the site, it is not possible to determine when Features 3B-3D were constructed, or for how long the structure(s) associated with them stood.

Feature 3E (Cobblestone Footing Wall). Feature 3E is a footing wall located in the north portion of the site, 2.5 m (eight feet) south of Feature 3B and five meters (16 ft) west of Feature 4 (Figure 21). The feature is oriented with its long axis (1.5 m, five feet) aligned to a rough east-west axis. The feature consists of a mortared cobblestone footing wall with its upper surface flush with the surrounding yard terrace. The footing wall's width is approximately 0.2 m (0.7 ft). The intended function of feature is not known at present. Its method of construction is similar to that seen in the larger foundation/footing and terrace walls associated with the barn and yard terrace, but, as with other features at the site, it is not possible to accurately determine when Feature 3E was constructed.

Feature 4 (Barn Foundation Wall). Feature 4 is a barn foundation wall located in the north portion of the site on the south side of Haskins St. (Figure 21). The feature is L-shaped overall, and the northernmost end of the feature, where it intersects with Feature 3 to form the northwest corner of the barn, lies 12 m (40 ft) south of the curb line on the south side of the street. Feature 4 extends for 18 m (60 ft) along its north-south orientation, and from that southern terminus it turns a 90 degree corner (forming the southwest corner of the barn) and runs 14 m (46 ft) east-west to the southeast barn corner where it intersects Feature 5 (Figures 54-55). The feature measures approximately 0.55 m (1.8 ft) thick across its entire length, which is roughly consistent with the width of Feature 3, a portion of which comprises the north foundation wall of the barn.

WHS-MAP 19 August 2024



Figure 54. Haskins Farmstead (47WL397), Facing Southeast, Showing Feature 4.

WHS-MAP 19 August 2024



Figure 55. Haskins Farmstead (47WL397), Facing West, Showing Feature 4.

Vertically, the foundation measures approximately two meters (6.5 ft) at its maximum and extends upward from the ground surface of the lower floor of the barn to a height that corresponds to the ground surface of the yard terrace that lies west of the barn. Because the lower story of the barn was banked into the east-facing slope of the ridge on which it lies, the walls of Feature 4 also serve as retaining walls, and thus neither section of the wall has any access points built into it. The foundation walls were constructed from mortared masonry using a combination of coarsely shaped angular rock, natural cobbles, and split cobbles oriented with the flat, split faces on the interior surface of the wall (Figures 56-57).



Figure 56. Haskins Farmstead (47WL397), Facing South, Showing Detail of Feature 4 Stonework at Mid-Point Along the Wall.

WHS-MAP 19 August 2024



Figure 57. Haskins Farmstead (47WL397), Facing Northeast, Showing Feature 4 Detail of the Stonework at the Southwest Corner.

Feature 4A (Concrete Slab/Walkway). Feature 4A is a concrete slab or walkway located in the north portion of the site on the south side of Haskins St. (Figure 21). It lies approximately 25.5 m (84 ft) south of the south curb line of Haskins St. The east end of the feature abuts Feature 4 and extends for at least seven meters (23 ft) in a west-southwesterly orientation from Feature 4. The feature consists of a concrete slab (Figure 58). The width of the feature (north-south) could not be accurately determined because the upper surface of the slab, which was probably originally built to be flush with the surrounding yard terrace ground surface, has broken down and become heavily obscured by brush and accumulated leaf litter.

The original function of Feature 4A is not currently understood, but it is notable that the orientation of its long axis is markedly off cardinal compass directions, unlike all other features at the site. It is possible that the feature represents a walkway that connected a doorway in the west wall of the upper floor of the barn (Feature 4) to another activity area in the farmyard terrace. The date of construction of Feature 4A is not known but based on the method of construction and its off-grid alignment, it is likely that it was added at some point after the barn was constructed.



Figure 58. Haskins Farmstead (47WL397), Facing West, Showing Feature 4A.

Feature 5 (Barn Footing Wall). Feature 5 is a barn footing wall located in the north portion of the site on the south side of Haskins St. (Figure 21). The north end of the feature, where it intersects with Feature 3 to form the northeast corner of the barn foundation, lies approximately 12 m (40 ft) south of the south curb line of Haskins St. It extends from that point in a due southerly direction for 18 m (60 ft) where it intersects the east-west segment of Feature 4, forming the southeast corner of the barn. The feature consists of a low footing wall of mortared masonry, built with a combination of coarsely shaped angular rock and natural cobbles and measuring roughly 0.5 m (1.6 ft) in width (Figures 59-60). A poured concrete cap runs along the top of the wall for its entire length and indicates that the feature retains its original height; approximately 0.55 m (1.8 ft) above ground surface.

WHS-MAP 19 August 2024



Figure 59. Haskins Farmstead (47WL397), Facing North, Showing Feature 5.

WHS-MAP 19 August 2024



Figure 60. Haskins Farmstead (47WL397), Facing West, Showing Detail of the Cement Cap over Fieldstone Masonry of Feature 5.

Although Feature 5 is somewhat different from the north, west, and south sections of the barn foundation wall – notably its low height and cement cap – its masonry is fully integrated into the other wall sections at the building's corners and was clearly built at the same time. The distinct form of Feature 5 suggests that the majority of the east wall of the barn consisted of wooden frame construction resting atop the capped Feature 5 footing wall. No obvious doorways were noted along the length of Feature 5, but it is possible that one or more doors were built into the frame wall of the barn, and it was simply necessary to step up/down when entering/exiting the east side of the barn. The area immediately east of the barn slopes downward toward the floodplain of the nearby White River. A doorway in the east side of the barn would thus not have provided access to outdoor workspaces immediately adjacent to the barn. It is possible that they allowed the Haskins to more easily move cattle and other animals that were stabled in the ground floor of the barn to pens and pastures that were located on floodplain meadows that were not suited to crop production.

Summary and Interpretation of Structural Remains. The original Haskins barn footprint is composed of the east segment of Feature 3, and the entireties of Features 4 and 5. The barn measured approximately 18 m (60 ft) north-south by 14 m (46 ft) east-west. The foundation/footing walls are oriented roughly along cardinal directions. Features 1 and 2 (silo foundations) were roughly six meters (20 ft) in diameter and were attached to the north wall of the barn. The silos were accessible from the lower floor of the barn via two small doorways.

The barn was banked into the east-facing slope of the ridge, and an artificially leveled yard area was created west of the barn. As a result, it is likely that a large door in the west side of the barn's frame structure would have provided access to the upper story of the building from the terraced barn yard to the west. This upper story might have been used for the storage of machinery and hay, for grain threshing, etc.

The lower story was partially underground, and the east wall of the lower story of the barn was probably composed of wooden framing built on top of a (still extant) masonry footing wall designated as Feature 5. It is possible that another door in the east barn wall provided direct access to the lower floor of the barn that probably contained animal pens.

The north foundation wall of the barn continued west of the west barn foundation wall, creating a low terrace wall. This formed a level terrace surface west of the barn and south of the terrace wall that was well suited for staging various farmyard tasks. The three small, circular poured concrete footings in the barn yard terrace (Features 3B-3D) served an unknown function. Their presence indicates that the yard area once hosted other structures that were perhaps less robust than the barn and silos. A possible poured concrete walkway (Feature 4A) traversed at least partway across the barn yard terrace at its south end. This walkway may have connected a doorway from in the west wall of the upper story of the barn to another frequently accessed activity area further west of the barn.

Feature 3A, a poured concrete slab with six threaded tie rods, located north of the barn yard terrace probably acted as a footing for a motor and pump apparatus that, when connected to a

series of steel pipes, transported water from a well source to the barn. The location of the well is not currently known but was probably somewhere east of the barn yard terrace.

It is very difficult to determine construction dates for the features that constitute the Haskins farm complex. All of the construction material and methods present in the structures were readily available by the last quarter of the nineteenth century and continued to be used well into the twentieth century. It is likely that the core foundation of the barn (and attached terrace walls) was built first, although this is an assumption with no concrete supporting evidence. The barn build may or may not have included one or both silos, or they may have been added in later phases of construction. The masonry of the antechamber walls connecting the silos to the barn foundation is distinct from that of the silos and barn, suggesting they were built at different time. More intensive analysis of the masonry of the surviving remnants of barn and silos may be able to determine whether the silos were integral to the barn foundation or later additions. As noted above, above ground silos were introduced into Wisconsin in the late-1870s (ISA n.d.:8). As a result, if barn and silo(s) were constructed in a single build, this would provide an overall construction date for the barn complex. It is also likely that the barn complex as recorded in 2024 represents the evolution of the farm over many decades. Individual elements of the complex were almost certainly built at different times, and it is even possible that some of the structural remnants had been abandoned long before the entire complex had been abandoned.

No photographs of the Haskins barn have been located as of the writing of this report, but the barn and silo complex are visible in a 1937 aerial image of the City of Lake Geneva. Due to the image's limited resolution, few details of the structure can be discerned, but it does confirm the general spatial relationship between the silos and the main block of the barn (Figure 32). Interestingly, the 1937 image also appears to show the barn in a state of disrepair. Both the barn and at least one silo appear to have lost their roofs. In the case of the barn, at least one, and possibly two, internal divisions are visible. It is not entirely clear whether these divisions are within the upper story of the barn (exposed as a result of the removal of the roof), or partitions in the lower story that are visible because both the roof and the floor of the upper story were gone at the time the 1937 image was captured. In general, it appears that the complex fell into disuse sometime prior to 1937.

Shovel Tests

Seven shovel tests were excavated in the vicinity of the above-ground features at the Haskins Farmstead (47WL397) site during the Phase I investigation (Figures 21 and 61). The shovel tests were placed south of the visible farmstead structures at 10 to 15 m (30-50 ft) intervals along the southeast edge of the terrace landform. Ground cover in the shovel tested portion of the site consisted of brush and mowed residential lawn. Shovel Tests 1-4, closest to the above-ground features, produced low densities of historic-period artifacts, primarily building materials and window glass fragments. Shovel Tests 5-7, located further south from the above-ground features, were culturally sterile. As noted above, subsurface testing was restricted to the portion of the site within the Hillmoor property boundaries. The original extent of the nineteenth-century farmstead extends into a private residential property abutting the Hillmoor property, but no testing was carried out there during the 2024 survey.

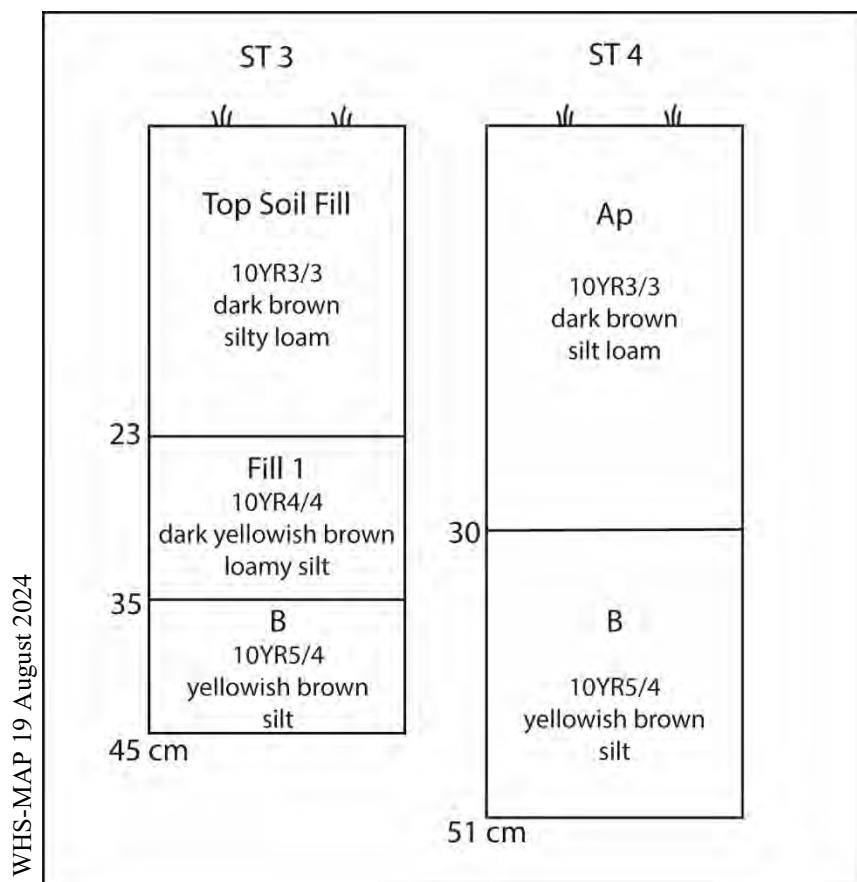


Figure 61. Representative Soils Profiles from the Haskins Farmstead (47WL397) Site.

Soil profiles consisted of an A horizon of dark brown (10YR3/3) silt loam topsoil fill overlying a lower fill zone to a maximum depth of approximately 34 cm (13 in) below ground surface in STs 2 and 3. The fill zones overlaid an intact B horizon of yellowish brown (10YR5/4) silt that extended to at least 51 cmbgs (20 in). The B horizon was consistent across the entire site area. Artifacts were recovered from the A (topsoil fill) horizon and the lower fill zone.

The remaining STs, both those that contained artifacts and those that were sterile, exhibited an Ap horizon of dark brown (10YR 3/3) silty clay loam to a maximum depth of 32 cmbgs (12.5 in). The contact boundary between the Ap and B horizons was very sharply defined indicating that the area had been plowed in the relatively recent past. Artifacts were found in Ap horizon contexts in STs 1 and 4.

The subsurface deposits encountered in shovel tests at the Haskins Farmstead (47WL397) site appear to represent a low density sheet midden that accumulated across the farmyard during the course of the nineteenth- and early-twentieth-century occupation of the site. In general, the artifact deposits encountered during the 2024 investigation do not appear to have the potential to add significantly to the interpretation of the site.

Artifact Analysis

A total of 59 artifacts weighing 1,662.3 g were recovered during Phase I investigation of the Haskins Farmstead (47WL397) site (Table 8). Eleven objects were collected from the surface of the site in the vicinity of the above-ground features, while the remainder were found in subsurface contexts in STs 1-4. Subsurface artifacts were encountered in A (Topsoil Fill) and Ap horizons, as well as in Fill Zones and the upper portion of the B horizon.

Table 8. Artifacts Recovered During Phase I Investigation of the Haskins Farmstead (47WL397) Site.

Artifact Type	Quantity	Weight (g)	Percentage (by Count)
ARCHITECTURAL DEBRIS			
Brick	1	1	1.7
Concrete-Portland Cement	1	0.3	1.7
Window Glass Fragment	15	49.4	0.3
Ferrous - Square Nail (Machine Cut) Fragment	1	3.3	1.7
Ferrous - Square Nail (Unidentified) Fragment	3	18.8	5.1
Ferrous - Wire Nail	2	3.3	3.4
Ferrous - Wire Nail Fragment	6	11.5	10.2
Ferrous - Wire Staple	1	0.9	1.7
Architectural Debris Subtotal	30	88.5	50.8
CERAMIC			
Earthenware, Coarse, Buff - Unglazed	4	13.0	6.8
Earthenware, Refined, White - Clear Glaze	1	1.1	1.7
Porcelain - Molded/Glazed	1	146.9	1.7
Porcelain - Molded/Hand Painted (Polychrome, Gilt)	1	9.5	1.7
Stoneware - Salt Glaze	1	9.9	1.7
Stoneware, Buff - Molded, Salt Glaze/Albany Slip	5	78.5	8.5
Stoneware, Buff - Salt Glaze/Albany Slip	1	17.5	1.7
Ceramic Subtotal	14	276.4	23.7
GLASS			
Hollow Form (Unidentified Jar) - Rim Fragment	1	46.2	1.7
Unidentified Vessel Form - Body/Rim Fragment	8	37.2	13.6
Glass Subtotal	9	83.4	15.3
METAL			
Aluminum - Pull Tab	2	0.9	3.4
Ferrous - Bucket with Wire Bale Handle	1	587.7	1.7
Ferrous - Paint Cannister	1	435.1	1.7
Ferrous - Machine Part (Unidentified Fragment)	1	188.8	1.7
Ferrous - Metal Wire	1	1.5	1.7
Metal Subtotal	6	1214	10.2
Site Total	59	1662.3	100.0

The artifact assemblage consists primarily of building materials and fasteners, and domestic ceramic and glass vessel fragments. None of the objects possess any closely-dated attributes, but most are generally consistent with the documented period of occupation of the site; circa 1842 through the early-twentieth century. A small number of mid-twentieth-century artifacts were found in Ap horizon and fill soil contexts. Objects found in the vicinity of the site's above-ground features do not shed additional light on the specific functions or periods of use

of the associated structures, but the items are consistent with the types of material typical of a latter-nineteenth- and early-twentieth-century farmstead.

Architectural debris found at the site included a single brick fragment, one fragment of portland concrete, 15 fragments of window glass, four square nails and fragments, eight wire nails and fragments, one wire staple, and a porcelain insulator (probably from an electric livestock fence). Metal tools such as a wire bale handled bucket, a metal one-gallon paint can with a multiple-friction closure, an unidentified fragment of a machine part, and a length of thin wire. Numerous fragments of coal, coal ash, and charcoal were observed in shovel tests at the site, but this material was not collected.

Domestic ceramic vessel fragments included four body fragments of unglazed buff coarse earthenware (possibly from a plant pot), one body fragment of white-bodied refined earthenware with a clear glaze, one rim fragment from a molded and hand painted (overglaze enamel) porcelain vessel (probably a plate or saucer), and seven body and base fragments of salt glazed and Albany Slipped stoneware representing at least two separate vessels. Several of the stoneware fragments mended, all associated with an unusually decorative vessel (possibly a storage crock) with fluting on the lower, outer vessel walls and an unidentified motif molded in relief on the base.

Domestic glass vessel fragments consisted of one rim fragment from a wide-mouth, external thread jar, and eight rim/body fragments from unidentified vessel forms. Several specimens were generally clear in color with a slight purple tint, suggesting that they were manufactured using manganese dioxide as a decolorant to produce the clear glass. This compound reacts with ultraviolet light over time to produce a distinctive purple tint in the formerly clear glass and was commonly used in industrial glass-making between the 1880s and the 1920s.

Summary and Recommendations

The Haskins Farmstead (47WL397) site is a post contact/historic-period Euroamerican farmstead site that was built and utilized during the second half of the nineteenth century and early-twentieth century. The site consists of surface and subsurface remnants of a farm complex established in the mid-nineteenth century and utilized through the early decades of the twentieth century. The site currently encompasses of the farm's agricultural complex, which lies at the extreme northern end of the Hillmoor property.

The site is roughly bounded by Haskins St. to the north, the driveway of the private residence at 242 Haskins St. to the west, and the edge of a terrace and associated shoulder slope to the south and east. The site's primary above-ground features include the well-preserved mortared stone masonry foundations of a banked barn and two attached silos. Secondary features, such as a mortared stone masonry retaining wall, a poured cement engine/pump footing, and several small, poured concrete footings, are also associated with the complex. The extant home standing in the southeast quadrant of the Haskins St.-Pioneer Dr. intersection, immediately west of the Haskins Farmstead (47WL397) site, is very likely the same building depicted in an 1873 lithograph of James Haskins' residence. John Haskins may have also lived in the home later in the century. The residence was historically associated with the farm

complex but was not included within the archaeological site boundary as it stands outside the project area on private property and was not directly surveyed as part of the present project.

A dispersed, low density scatter of historic artifacts is present across the surface of the site area, and low densities of subsurface artifacts were also encountered across the site. A total of 59 artifacts were recovered from the site: eleven from the surface of the site in the vicinity of the above-ground features, and 48 from subsurface contexts in STs 1-4. Subsurface artifacts were encountered in A (Topsoil Fill) and Ap horizons, as well as in buried fill zones and the upper portion of the B horizon. The artifact assemblage consists primarily of building materials and fasteners, and domestic ceramic and glass vessel fragments. None of the objects possess any closely-dated attributes, but most are generally consistent with the documented period of occupation of the site; circa 1842 through the early-twentieth century. Unsurprisingly, a small number of mid-twentieth-century artifacts were found in Ap horizon and fill soil contexts. Objects found in the vicinity of the site's above-ground features do not shed additional light on the specific functions or periods of use of the associated structures, but the items are consistent with the types of material typical of a latter-nineteenth- and early-twentieth-century farmstead.

Historically, the farm was associated with the families of John and James Haskins, both of whom probably resided on the property at various times between their arrival in Lake Geneva circa 1842 and John's death in 1887. Amos Haskins, believed to be John and James' brother, also probably worked on the farm prior to John's death. John's children inherited portions of the property after their father's passing and may have continued to operate the farm. John and James Haskins pursued many other commercial and industrial ventures while they resided on their homestead, and played leading roles in shaping the economy, and eventually the municipal boundaries, of the Village of Lake Geneva. Through their concession on the water power along the section of the White River that flowed through their land, they operated one of the village's first sawmills. Later in the century they were instrumental in forming the Geneva Lake Crawford Manufacturing Co. and established an agricultural implement factory on their property along the White River. The brothers also ran a hardware store located on the village's Main St and were deeply involved in local real estate development. Through the formal platting of part of their original farm property, the Geneva Lake Crawford Manufacturing Company's Addition was laid out. "The Crawford", as the neighborhood become known to local residents, formed a significant portion what would become the City of Lake Geneva's Third Ward.

As currently defined, the Haskins Farmstead (47WL397) site does not appear to have the potential to meet eligibility criteria for listing on the National Register of Historic Places (NRHP). It does provide information on construction methods and organizational principles for the layout of farm complexes during the second half of the nineteenth century in Wisconsin. The site also serves as a tangible link to a locally significant family of early Euroamerican settlers, the Haskins, who played a major role in Lake Geneva's economic and political development during the second half of the nineteenth century. As a result, the site offers an excellent opportunity for public education through interpretive signage and possible in-place preservation of the surviving remnants of agricultural buildings.

PROJECT SUMMARY AND RECOMMENDATIONS

The 2024 Phase I site identification survey of designated portions of the Hillmoor property investigated one previously recorded site that reportedly extended into the project area: Engine House Burial (47WL42/BWL-0115). The survey also defined one newly identified archaeological site: the Haskins Farmstead (47WL397) site. The site consists of surface and subsurface remnants of a Euroamerican farm complex established in the mid-nineteenth century and utilized through the early decades of the twentieth century.

The Engine House Burial (47WL42/BWL-0151) site Native American campsite/village and cemetery/burial site reflecting both an unspecified precontact occupation and a possible post contact Native American occupation. It is considered an uncatalogued burial site and is protected under Wis. Stats. § 157.70. The northern-most portion of the site area abuts and extends into the Hillmoor property. The terrace appears to have been heavily modified to create a level bed for the railroad line that once traversed the terrace along a northwest-southeast alignment. Soil profiles from shovel tests indicate that recent fill soils extend to at least 2.62 m (8.5 ft) below the current ground surface of the terrace. It is not possible to rule out the presence of intact soils that could contain human burials below the depth of the 2024 shovel testing, but the upper soils within the portion of the site area tested in 2024 do not have the potential to contain intact human burial contexts, and very low potential for displaced human remains. With this in mind, no additional investigation is recommended under the condition that future construction plans do not involve ground disturbances that would extend deeper than 2.5 m (eight feet) below the present-day ground surface of the terrace/multi-use path surface.

The Haskins Farmstead (47WL397) site is a post contact/historic-period Euroamerican farmstead site that was built and utilized during the second half of the nineteenth century and early-twentieth century. The site consists of surface and subsurface remnants of a farm complex established in the mid-nineteenth century and utilized through the early decades of the twentieth century. The site currently encompasses of the farm's agricultural complex, which lies at the extreme northern end of the Hillmoor property. The site's primary above-ground features include the well-preserved mortared stone masonry foundations of a banked barn and two attached silos. Secondary features, such as a mortared stone masonry retaining wall, a poured cement engine/pump footing, and several small, poured concrete footings, are also associated with the complex. The extant home southeast of the Haskins St.-Pioneer Dr. intersection was historically associated with the farm complex but was not included within the archaeological site boundary as it stands outside the project area on private property and was not directly surveyed as part of the present project.

A dispersed, low density scatter of historic artifacts is present across the surface of the site area, and low densities of subsurface artifacts were also encountered across the site. The artifact assemblage consists primarily of building materials and fasteners, and domestic ceramic and glass vessel fragments which generally date to circa 1842 through the early-twentieth century. Objects found in the vicinity of the site's above-ground features do not shed additional light on the specific functions or periods of use of the associated structures,

but the items are consistent with the types of material typical of a latter-nineteenth- and early-twentieth-century farmstead.

Historically, the farm was associated with the families of John and James Haskins, both of whom probably resided on the property at various times between their arrival in Lake Geneva circa 1842 and John's death in 1887. The farm was likely worked by several members of the Haskins family and was divided amongst John's children upon his death. The Haskins family pursued many other commercial and industrial ventures while they resided on their homestead, and played leading roles in shaping the economy, and eventually the municipal boundaries, of the Village of Lake Geneva. They operated one of the village's first sawmills. Later in the century they were instrumental in forming the Geneva Lake Crawford Manufacturing Co. and established an agricultural implement factory on their property along the White River. The brothers also ran a hardware store located on the village's Main St. and were deeply involved in local real estate development and were instrumental in platting a significant portion what would become the City of Lake Geneva's Third Ward.

As currently defined, the Haskins Farmstead (47WL397) site does not appear to have the potential to meet eligibility criteria for listing on the NRHP. It does provide information on construction methods and organizational principles for the layout of farm complexes during the second half of the nineteenth century. The site also serves as a tangible link to the Haskins family and their many contributions to Lake Geneva's economic and political development. As a result, the site offers an excellent opportunity for public education through interpretive signage and possible in-place preservation of the surviving remnants of agricultural buildings. No additional investigations are recommended for the current project.

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APPENDIX I
HASKINS FAMILY TAX RECORDS 1850-1876

Year	Landowner	Property Description	Acreage	Property Value	Personal Property	Comments
1849	Not Listed					
1850	Haskins, James and John	Section 25, SE 1/4	160.0	\$3,000.00	\$2,814.00	
1851	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$2,750.00	\$3,083.00	
1852	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$1,375.00	\$2,500.00	
1853	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$1,400.00	\$1,300.00	
1854	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$1,700.00	\$2,000.00	
1855	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$2,000.00	\$1,000.00	
1856	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$1,920.00	\$1,800.00	
	Haskins, J. and J.	Section 25	Mill and Water Power	\$500.00		
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3	Not Listed (30)	\$200.00		
	Haskins, J. and J.	Section 36, Block 30, Lot 5, middle 1/3	Not Listed (30)	\$300.00		
	Haskins, J. and J.	Section 36, Block 30, Lot 21, middle 1/3	Not Listed	\$1,800.00		Value unclear in original document
	Subtotals		220.0	\$4,720.00	\$1,800.00	
1857	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$1,400.00	\$500.00	
	Haskins, J. and J.	Section 25	Mill and Water Power	\$300.00		
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3	30.0	\$150.00		
	Haskins, J. and J.	Section 36, Block 30, Lot 5, middle 1/3	30.0	\$225.00		
	Subtotals		220.0	\$2,075.00	\$500.00	
1858	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$6,000.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3	30.0	\$400.00	\$5,444.00	
	Haskins, J. and J.	Section 36, Block 30, Lot 5, middle 1/3	30.0	\$600.00	Not Listed	
	Haskins, John	Section 24, Part of E 1/2 of SE 1/4	12.0	\$120.00	\$1,125.00	
	Subtotals		232.0	\$7,120.00	\$6,569.00	
1859	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$6,000.00	\$5,025.00	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3	30.0	\$400.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 5, middle 1/3	30.0	\$600.00	Not Listed	
	Haskins, John	Section 24, Part of E 1/2 of SE 1/4	12.0	\$120.00	Not Listed	
	Subtotals		232.0	\$7,120.00	\$5,025.00	
1860	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$6,000.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3	30.0	\$400.00	\$5,066.00	
	Haskins, J. and J.	Section 36, Block 30, Lot 5, middle 1/3	30.0	\$600.00	Not Listed	
	Haskins, John	Section 24, Part of E 1/2 of SE 1/4	12.0	\$120.00	Not Listed	
	Haskins, John				\$1,394.00	

Year	Land Owner	Property Description	Acreage	Property Value	Personal Property	Comments
1860	Haskins, James				\$257.00	
	Subtotals		232.0	\$7,120.00	\$6,717.00	
1861	Haskins, J. and J.	Section 25, N 1/2 of SE 1/4	80.0	\$2,000.00	Not Listed	
	Haskins, J. and J.	Section 25, S 1/2 of SE 1/4	80.0	\$4,000.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3	30.0	\$400.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 5, middle 1/3	30.0	\$600.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$400.00	Not Listed	Small parcel between Dodge and Scott Sts. near Center St.
	Haskins, John	Section 24, N 1/2 of S 1/2 of SW 1/4 of SE 1/4	12.0	\$168.00	Not Listed	
	Haskins, James				\$373.00	
	Subtotals		232.0	\$7,568.00	\$373.00	
1862	Haskins, J. and J.	Section 25, N 1/2 of SE 1/4	80.0	\$2,000.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$1,000.00	Not Listed	
	Haskins, John	Section 24, N 1/2 of S 1/2 of SW 1/4 of SE 1/4	12.0	\$168.00	Not Listed	
	Haskins, J. and J.				\$5,730.00	
	Haskins, John				\$1,276.00	
	Subtotals		152.0	\$3,168.00	\$7,006.00	
1863	Haskins, J. and J.	Section 25, N 1/2 of SE 1/4	80.0	\$2,000.00	Not Listed	
	Haskins, J. and J.	Section 25, S 1/2 of SE 1/4	80.0	\$4,000.00	Not Listed	
	Haskins, J. and J.	Block 27, Lot 10, west 1/2	Not Listed	\$600.00	Not Listed	
	Haskins, J. and J.	Section 24, N 1/2 of S 1/2 of SW 1/4 of SE 1/4	12.0	\$192.00	Not Listed	
	Haskins, J. and J.				\$6,750.00	
	Haskins, James				\$676.00	
	Haskins, John				\$1,594.00	
	Subtotals		172.0	\$6,792.00	\$9,020.00	
1864	Haskins, J. and J.	Section 25, N 1/2 of SE 1/4	80.0	\$2,000.00	Not Listed	
	Haskins, J. and J.	Section 25, S 1/2 of SE 1/4	80.0	\$4,000.00	\$6,100.00	

Year	Land Owner	Property Description	Acreage	Property Value	Personal Property	Comments
1864	Haskins, J. and J.	Section 24, N 1/2 of S 1/2 of SW 1/4 of SE 1/4	12.0	\$192.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$400.00	Not Listed	
	Haskins, John				\$1,230.00	
	Subtotals		172.0	\$6,592.00	\$7,330.00	
1865	Haskins, J. and J.	Section 25, N 1/2 of SE 1/4	80.0	\$2,000.00	Not Listed	
	Haskins, J. and J.	Section 24, N 1/2 of S 1/2 of SW 1/4 of SE 1/4	12.0	\$172.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$650.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$1,000.00	Not Listed	
	Haskins, J. and J.				\$6,100.00	
	Haskins, James				\$438.00	
	Haskins, John				\$1,230.00	
	Subtotals		152.0	\$3,822.00	\$7,768.00	
1866	Haskins, J. and J.	Section 25, N 1/2 of SE 1/4	80.0	\$2,000.00	Not Listed	
	Haskins, J. and J.	Section 25, S 1/2 of SE 1/4	80.0	\$4,000.00	\$5,770.00	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$475.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$1,000.00	Not Listed	
	Haskins, J. and J.				\$5,770.00	
	Haskins, James				\$477.50	
	Haskins, John				\$1,208.00	
	Subtotals		220.0	\$7,475.00	\$7,455.50	
1867	Haskins, J. and J.	Section 25, N 1/2 of SE 1/4	80.0	\$2,000.00	Not Listed	
	Haskins, J. and J.	Section 25, S 1/2 of SE 1/4	80.0	\$4,000.00	\$4,972.00	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$475.00	Not Listed	
	Haskins, J. and J.				\$4,972.00	
	Haskins, James				\$407.00	
	Haskins, John				\$698.00	
	Subtotals		160.0	\$6,475.00	\$6,077.00	
1868	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$1,200.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$2,000.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$500.00	Not Listed	

Year	Land Owner	Property Description	Acreage	Property Value	Personal Property	Comments
1868	Haskins, J. and J.				\$6,678.00	
	Haskins, James				\$2,278.00	
	Haskins, John				\$1,100.00	
	Subtotals		220.0	\$3,700.00	\$10,056.00	
1869	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$11,520.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$2,100.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$600.00	Not Listed	
	Haskins, J. and J.				\$8,862.00	
	Haskins, James				\$1,946.00	
	Haskins, John				\$1,140.00	
	Subtotals		220.0	\$14,220.00	\$11,948.00	
1870	Haskins, J. and J.	Section 25, SE 1/4	160.0	\$10,000.00	Not Listed	
	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$1,900.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$850.00	Not Listed	
	Haskins, J. and J.				\$11,000.00	
	Haskins, James				\$2,920.00	
	Haskins, John				Not Listed	
	Subtotals		220.0	\$12,750.00	\$13,920.00	
1871	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$1,750.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$850.00	Not Listed	
	Haskins, J. and J.				\$11,000.00	
	Haskins, James				\$680.00	
	Haskins, John				\$1,135.00	
	Subtotals		60.0	\$2,600.00	\$12,815.00	
1872	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$1,200.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$600.00	Not Listed	
	Haskins, J. and J.				\$16,005.00	
	Haskins, James				\$1,420.00	
	Haskins, John				\$1,870.00	
	Subtotals		60.0	\$1,800.00	\$19,295.00	
1873	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$1,980.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$900.00	Not Listed	
	Haskins, J. and J.				\$17,445.00	
	Haskins, James				\$1,550.00	
	Haskins, John				\$2,120.00	
	Subtotals		60.0	\$2,880.00	\$21,115.00	

Year	Land Owner	Property Description	Acreage	Property Value	Personal Property	Comments
1874	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$1,980.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$720.00	Not Listed	
	Haskins, J. and J.				\$15,285.00	
	Haskins, James				\$1,555.00	
	Haskins, John				\$1,920.00	
	Subtotals		60.0	\$2,700.00	\$18,760.00	
1875	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$2,500.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$900.00	Not Listed	
	Haskins, J. and J.				\$13,502.00	
	Haskins, James				\$1,500.00	
	Haskins, John				\$2,255.00	
	Subtotals		60.0	\$3,400.00	\$17,257.00	
1876	Haskins, J. and J.	Section 36, Block 30, Lot 4, middle 1/3; Lot 5, middle 1/3	60.0	\$2,500.00	Not Listed	
	Haskins, J. and J.	Part of Original Village Plat, Block 2	Not Listed	\$1,000.00	Not Listed	
	Haskins, John	Geneva Lake Crawford Man. Add., Block 20, Lots 1-4	Not Listed	\$320.00	Not Listed	
	Haskins, John				\$2,200.00	
	Subtotals		60.0	\$3,820.00	\$2,200.00	

APPENDIX II
JOHN HASKINS PROBATE RECORDS

John Haskins

in the Wisconsin, U.S., Wills and Probate Records, 1800-1987

Detail

Source

Name	John Haskins
Probate Date	6 Dec 1887
Probate Place	Walworth, Wisconsin, USA
Inferred Death Date	1887
Inferred Death Place	Wisconsin, USA
Case Number	1828
Item Description	Probate Case Files, No 1720-1839

Individuals Listed (Name)	
John Haskins	
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Nº 1828

STATE OF WISCONSIN
Walworth County Court
IN PROBATE

In the Matter of Lester Wheel
and Testament of
John Haskins DECEASED
Of Lake Geneva, Wis.

Court Record, Vol. II Page 381

Record Book, Vol. 22 Page 231-2

Vol. 35 Page 25

Vol. _____ Page _____

Nº 1828

IN PROBATE. County Court, Walworth County.

TO THE JUDGE OF SAID COURT:

The Petition of Edward Cheney of
the town of City of Lake Geneva in said county, respectfully represents,
that John Hastings late of the City
of Lake Geneva in the county of Walworth deceased.
on the 29th day of December Nov. A. D. 1887, at
the said City of Lake Geneva died testate, as petitioner
believes; that the instrument in writing herewith presented to this Court, is the Last Will
and Testament of said deceased, as petitioner believes; that he, the said petitioner, is the
same Edward Cheney

named and appointed in and by said last will and testament executor thereof; that
the said John Hastings left no widow him surviving,
but that he left two children, viz, Mary O
Blakesley of said Lake Geneva, who is of full age,
and Herbert E Hastings who is of the age of
eighteen years

Your petitioner would further represent, that the goods, chattels and personal estate of said
deceased, within this State, amount to about Twenty thousand dollars
as petitioner is informed and believes; that said deceased left debts, due and unpaid, to the probable
amount of twenty five dollars, as
petitioner believes. Your petitioner would pray that a day be appointed for hearing the proofs of
said Last Will and Testament; and that public notice thereof be given to all persons interested as
this Court shall direct; and that upon the proof and allowance of said will that letters
testamentary

be granted unto your petitioner Edward Cheney
of Lake Geneva Wis

DATED Dec 3rd A. D. 1887 Edward Cheney

STATE OF WISCONSIN, } ss.
WALWORTH COUNTY, }

On this third day of December
A. D. 1887, before me personally appeared the above named Edward
Cheney and made oath that he has heard read the above petition, sub-
scribed by him, and knows the contents thereof, and that the same is true of his own
knowledge, except as to the matters which are therein stated to be on his information or belief,
and as to those matters he believes it to be true

James Simmons COUNTY JUDGE.
Court Commissioner
Walworth Co
Wis

In the Matter of the
Estate of John Hastings
deceased.

In Probate. County Court of Malheur County.
To the Judge of said Court:

The petitioners of Mary O. Blakeslee
and Herbert Eugene Hastings, of the City of Lake
Geneva in said County, respectfully represent,
That John Hastings died testate at the City
of Lake Geneva in said County, on the 29th day of
November AD 1887, being at that time an inhabi-
tant of said County and residing at the City
aforesaid;

That said deceased left personal estate
to be administered within this State, the value
of which probably does not exceed twenty thou-
sand dollars, and real estate within this
State exclusive of his homestead the annual
rents and profits of which do not exceed five
hundred dollars, as your petitioners are
informed and verily believe;

That it is necessary
that a special administrator be appointed
to collect and preserve the property of said
deceased, for the reasons following, viz,

The said personal property consists prin-
cipally of a life insurance policy, and of
checks, notes and accounts now due and
which require immediate and constant
attention in order to collect and secure
the amounts d.⁹² Thereon; And that

your petitioners Mary O. Blakeslee and Herbert
E. Haskins are the only surviving children
of said John Haskins, deceased, and that he
left no widow him surviving.

Wherefore your petitioners pray, that Edward
Cheney of the city of Lake Geneva in said county
be appointed special administrator of said estate,
to act until the necessity therefor ceases to
exist. Dated December 5, 1887.

Mary O. Blakeslee
H. E. Haskins

State of Wisconsin
Walworth County } Mary O. Blakeslee and Herbert
Eugene Haskins being duly sworn on oath
say, that they are the petitioners above named;
that they and each of them have heard read the
above and foregoing petition, and knows the
contents thereof, and that the same is true of the
knowledge of each of them, except as to matters
therein stated on information and belief, and
as to those matters they believe it to be true.
Subscribed and sworn to { Mary O. Blakeslee
before me Dec 5th 1887. { H. E. Haskins.

James Simmons
Court Commissioner
Walworth Co Wis

In Matter of Special
Administration of
Estate of John Hastings
deceased.

Petition
—H—

Jas Simmons
Atty for Petitioners
Lake Geneva
Wis

Filed Dec 5th 1884
Jaynes B Wheeler
Judge

Wm. H. Merrill
Samuel M. Kellum

State of Wisconsin, } ss.
WALWORTH COUNTY.

BE IT REMEMBERED, That on Tuesday, the 20th day of January, A. D. 1888, at the village of Elkhorn in said County, pursuant to notice duly given as required by law, H. D. Smith & subscribing witness to the last will and testament of John Haskins late of the County of Elkhorn, deceased, hereto annexed, was produced, duly sworn and examined, before the County Court of said County.

and the proofs having been heard before said Court, and the Court having thereupon found that said instrument was in all things duly executed as his last will and testament by the said John Haskins on the 20th day of January, A. D. 1888; that he was then of full age and sound mind, and that said instrument was duly attested and subscribed in the presence of the testator by the witness thereto: Thereupon said instrument, being duly proved, was, by said Court, duly allowed and probate thereof granted as and for the last will and testament of the said John Haskins, deceased.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seal of the County Court of said County, at Elkhorn in said County, on this 20th day of January, A. D. 1888.

J. J. B. Haskins
COUNTY JUDGE.

I, John Haskins, of
Lake Geneva, Wisconsin, being
of sound mind, do make
and publish my last will
as follows: -

First, I direct that
all my just debts, personal
expenses and expenses of
administration be paid out
of my personal estate.

Second, I give and
devise ~~to my wife, Jane Haskins~~
of Lake Geneva, Wisconsin, the
following described real estate, to-wit:
my homestead where I now
live, bounded on the north
by Haskins street, on the west
by Manufacturers avenue, on
the south by Water street and
mill-pond, and on the
east by the mill-pond and
road now in use lying
close to the east side of
office of manufacturing plant.
I also give to said John V.
Seymour my black horse
known by the name of Prince
to be retained and well cared

the aforesaid
property sit-
uated in
the Geneva
Lake Crawford
Mfg. Co.'s ad-
dition.

for while said ^{horse} shall live.
I also grant to the said
John. V. Seymour the right
of way across the two mill
races west of the old wooden
mill.

Third, I give and
devise unto Henry Eugene
Haskins of Lake Geneva, Wis.
the following described real-estate
to-wit: - Lots 1 and 2 of block
19 situated in the Geneva Lake
Crawford Mfg. Co's addition.

Fourth, I give and devise
unto Mary O. Blakesley of
Lake Geneva, Wis. the following
described real-estate, to-wit: -
Lots three (3) and four (4)
of block nineteen (19) situated
in the Geneva Lake Crawford
Mfg. Co's addition.

Fifth, I do hereby appoint
Edward Cheney of Lake Geneva,
Wis. sole executor of this my
last will and testament.

Witness my hand and
seal this Twenty-second day

of November, A.D. 1887.

John Hastings

3

The above instrument
of three (3) pages signed by
the above named testator
and declared to be his last
will and testament in our
presence and we, at his request
have signed the same as wit-
~~nesses in his presence and~~
presence of each other the day
and year above named

Norman H. Wormwood
Henry D. Smith
Frank L. Cheney

State of Wisconsin, }
WALWORTH COUNTY. } ss.

THE STATE OF WISCONSIN

To all to whom these Presents shall come, or may Concern, and Especially to
Edward Cheney of the City of Lake Geneva in said County Greeting:

Know Ye, That, whereas, *John Haskins*, late of the City of *Lake Geneva*, in said county, lately died at the town of *said City* leaving estate to be administered in said county, whereby the granting administration, of all and singular, the goods, chattels, rights, credits, and estate of said deceased, and also the auditing, allowing and finally discharging the account thereof, is within the jurisdiction of the County Court for our said County:

And Whereas, *it appears to the Court to be necessary to appoint a Special Administrator to said estate to preserve the same from waste*

And Whereas, *Edward Cheney*, being approved by said Court as Special Administrator of said estate, has given bond as required by law, which has been duly approved and filed in said Court:

We, therefore, Reposing full confidence in your integrity and ability, do, by these presents, constitute and appoint you, the said *Edward Cheney* Special Administrator of the estate of said deceased: and do hereby authorize and empower you to collect all the goods, chattels, and credits, of said deceased, and to exercise all the rights and powers of a special administrator, as provided by law, in relation to the estate of said deceased:

And requiring you, in accordance with your bond, approved and filed as aforesaid, to make, and file with the Court, a true inventory of all the goods, chattels, rights and credits, of said deceased, which shall come to your possession or knowledge: to truly account for all the same, which shall be received by you, whenever required by the County Court, and to deliver the same to the person who shall afterwards be appointed executor or administrator of the deceased: or to such person as shall be legally authorized to receive the same, and to perform all orders and judgments, of said Court, by you to be performed in the premises.

In Testimony Whereof, We have caused the Seal of our said County Court to be hereunto affixed.

James O. Wheeler
Witness, PETER GOLDBER, Judge of said Court, at Elk Horn, in said County, this *15* day of *December*

A. D. One Thousand Eight Hundred and *Eighty Seven*

James O. Wheeler County Judge

(Seal)

WARRANT TO APPRAISERS.

Independent Print, Elkhorn.

State of Wisconsin, ss.
WALWORTH COUNTY

THE STATE OF WISCONSIN

To,

B. G. Merrill and Saml Kibben
of Lake Geneva in said County

Greeting:

Whereas, John Haskins, late of the City of Lake Geneva, in our said county, lately died testate, leaving an estate, and also goods, chattels, rights and credits within said State the administration whereof doth belong to Edward Cheney of said City in said County, and whereas, we are desirous that said estate be duly appraised, pursuant to the statute in such case made and provided.

Therefore, Trusting in your integrity and disinterestedness, we have appointed and do by these presents appoint you as appraiser of all the estate and effects of said deceased, which may be in said county; and being severally duly sworn to the faithful execution of said trust, and having procured from the said John Haskins a true inventory of all the real estate and of all the goods, chattels, rights and credits of said deceased, (and also a separate and distinct inventory of the wearing apparel and ornaments of said deceased, of the household furniture not exceeding in value one hundred and fifty dollars; of the other personal property which may and shall be selected by the widow of said deceased, not exceeding in value two hundred dollars,) and the said real estate, goods, chattels, rights and credits, being shown and exhibited to you by the said John Haskins you are hereby required faithfully and impartially to appraise the same, setting down opposite to each item in said inventories, distinctly in figures, the value thereof in money as by you determined; and the said inventories and appraisement so made you will certify and subscribe and, together with the warrant, deliver without delay to the said John Haskins

HEREOF FAIL, NOT.

In Testimony Whereof, We have caused the Seal of our County Court of said County to be hereunto affixed.

Witness, JAYNES B. WHEELER, Judge of said Court, this 9th day of February, A. D. 1888, at Elkhorn, in said County.

Jaynes B. Wheeler County Judge

State of Wisconsin, ss.
WALWORTH COUNTY.

We do severally solemnly swear and declare, that we will well, truly and impartially discharge the duty of appraisers in the estate of John Haskins, deceased, according to the best of our abilities, and according to law.

SUBSCRIBED and sworn to before me, this 9th

day of February, A. D. 1888.

B. G. Merrill
James Simmons
Court Commissioner
Walworth Co
Wis

Saml Kibben

General Inventory.

In Probate: County Court, Walworth County.
 In the matter of the estate of }
John Haskins, Deceased }

A true and perfect inventory of all the Real Estate, and all the goods, chattels, rights, credits, and estate of said deceased, which have come to the possession or knowledge of the undersigned Edward Cheney, or to the possession of any other person for him, up to and including this First day of March, 1888.

Summary.

Shets.		Amounts.
1.	Notes Outlawed.	0 0 0 0 0 0 0
1.	" Uncollectable	0 0 0 0 0 0
1-2	" in Judgment.	0 0 0 0 0 0
3	" Considered Doubtful	0 0 0 0 0 0 0
4-5	" " Good.	1 8 1 6 8 4 4
6.	Accounts & Claims.	9 1 5 7 6 4
6	Cash on hand.	9 1 9 7 3
7-9	Accounts worthless.	0 0 0 0 0 0 0
10-13	Real Estate.	3 3 3 2 5 0 0
14-21	Factory Machinery & Tools.	3 6 3 3 7 7
22	Warehouse Machinery	6 1 6 0 0
23	Office Outfit	6 5 5 0
24	Saw-mill "	1 7 2 5
25-29	Household & Minor Property.	3 0 3 8 7
TOTAL		\$ 6 6 2 0 7 2 0

1.

Inventory of Notes.

Date.			Maker.	No.	Am't.	Rate.	Pay'ts.	Ap'aint.
—	—	—	Notes Outlawed	—	19981 30	—	959 26	00 00 00
—	—	—	Notes Uncollectable	—	10537 59	—	699 94	00 00 00
			Notes in Judgment.	Considered doubtful.				
Aug	7	75	Mingo Rutenber	611	100 00	10		
July	15	75	W. R. Baker.	1011	50 00	10		
Sept	5	75	A. Carpenter	1211	55 00	10		
July	8	75	Elizabeth Embree	150	50 00	10		
Sept	25	75	A. A. Phinney	215	55 00	10		
Dec	22	75	P. Phinney	271	100 00	10		
July	30	75	Edw. E. Parsons	2811	100 00	10		
July	15	75	John Sink	287	100 00	10	80 00	
July	15	76	Geo. Garner	3111	117 00	10		
"	"	"	"	3115	48 00	10		
July	15	76	Hy. Cummechel	3116	30 00	10	20 00	
Aug	5	76	C. O. Conners	3611	80 00	10		
Aug	18	76	H. C. Fletcher	1111	100 00	10		
July	13	76	Ol. Otison	1130	60 00	10		
July	15	76	N. Leyison	1139	115 00	10		
"	"	"	"	1110	115 00	10		
"	"	"	"	1111	115 00	10		
June	28	76	B. H. Mowen	11111	36 00	7		
"	"	"	"	1115	37 00	7		
Aug	26	76	D. L. Morse.	1152	50 00	10		
"	"	"	"	1153	60 00	10		
July	4	76	C. A. Schore	1179	50 00	12		
"	"	"	"	1180	15 00	12		
"	"	"	"	1181	50 00	12		
			Carried forward.	102	1708 00		100 00	

2. Notes in Judgment, Concluded.

appraised.

July 5 76	James Horn	541	1708 00	30 00	10	100 00
July 12 76	" "	579	20 00	12		
Sept 18 76	L. F. Hovey	566	33 33	10		
Aug 7 76	I. W. Clark.	596	50 00	10		
Dec 9 76	J. P. Baker.	606	34 70	10		
" " "	" " "	607	34 70	10		
July 8 76	D. C. Moraine	620	34 70	10		
" " "	" " "	621	33 00	10		
July 18 76	John W. Phelps	631	45 00	10		
July 8 76	John Enright	632	50 00	10		
" " "	" " "	633	50 00	10		
July 27 76	Alexander Young	645	95 00	10		
July 20 76	J. H. Gaffin	697	47 50	10		
" " "	" " "	698	47 50	10		
Feby 19 77	L. A. Lewison	725	62 50	10	50 95	
Mar. 30 77	John Haynes	753	115 00	10		
Aug 6 76	Jas. Lyons & H. H. Turnbull	823	45 00	10		
Aug 23 77	Saul Scott	979	75 00	10		
July 18 77	John H. Thornhill	1094	40 00	10		
Aug 4 76	Mary A. Heren	1112	60 00	7		
" " "	" " "	1113	50 00	7		
Aug 11 77	Hy. C. Fletcher	1122	25 00	10		
Sept 8 77	" " "	1123	22 00	10		
July 1 77	Wm. & Warren Manger	1168	100 00	10		
Aug 1 75	Michael Butler	1215	59 00	6		
" " "	" " "	1216	59 00	6		
Nov. 21 78	A. L. Marsh & E. W. Hadley	1456	67 40	10	49 51	
Jan 18 79	Thos. R. Stewart	1549	35 70	10		
" " "	" " "	1550	35 65	10		
June 1 78	Amos I. Smith	1544	67 50	10		
	Cathrine Sweeney	103, 18	52 50	10		
July 23 78	G. W. Rice & G. H. Michael	1454	80 00	-	53 50	
			3364 68		253 96	0000 00

3.

Notes considered doubtful *appraised*

April	11 82	Chas. J. Walters	2016	45 00	7		
Aug	21 83	Wm. Miller	2185	32 50	7	} 36 60	
"	"	"	2186	32 50	7		
July	21 83	John Milam	2195	70 00	6		
Oct.	17 82	Wm. Moore	2205	37 50	6		
Nov.	15 84	H. Wadsworth	2214	40 00	7		
Aug	1 84	J. O. Fowler	2220	57 00	7	} 40 00	
Jan	15 85	D. F. LaPorte	2226	35 00	7		
July	29 86	C. W. McDonald	2249	191 91	6		
"	"	"	2250	191 92	6		
Dec	15 84	D. H. Gifford	2260	17 40	-		
Nov	9 67	Jos Ark & H. C. Marshall	2503	50 00	10	} 92 59	
"	"	"	2504	25 00	10		
Dec	80	G. & L. E. Morgan	2540	227 52	7		
Apr	15 87	J. E. Burton	2541	5000 00	6		
"	"	"	2542	5000 00	6		
Feby	7 83	Life Ins. Policy.	2543	10000 00	-		
				21053 25		169 19	00000 00

Notes considered good.

affraim

April	17 83	P. Gavin & S. Bailey	2159	465 00	7	211 07
May	31 84	E. B. Matyard	2199	1333 84	-	
Jan	1 85	F. C. Madison	2239	86 80	8	465 00
March	19 85	H. D. Smith	2240	58 20	7	
June	12 85	Sidney Buell	2242	40 00	7	
July	29 86	C. W. McDonald	2251	191 92	6	
"	"	"	2252	191 92	6	
June	10 86	Wm. Denmore	2253	18 00	7	
Sept	1 86	D. L. Hamlin	2259	10 00	7	5 00
Jan	10 87	Geo. W. Gray	2261	465 00	7	
Nov	5 87	M & C Heston	2263	50 00	8	
May	16 88	Judson Traver	2264	77 71	7	
Aug	22 82	Lewis Curtis	2511	75 00	7	
April	3 83	F. S. Seymour & Wife	2512	267 00	6	644 08
May	16 83	Silas P. Wright	2513	537 50	7	188 02
Sept	1 84	Edw. Cheney	2514	400 00	7	37 18
"	30 84	T. J. Utterbach	2515	200 00	7	112 00
"	"	"	2516	200 00	7	112 00
"	"	"	2517	400 00	7	84 00
"	"	"	2518	400 00	7	84 00
"	"	"	2519	500 00	7	105 00
"	"	"	2520	500 00	7	105 00
"	"	"	2521	500 00	7	105 00
Oct.	9 84	C. H. Fernald	2522	800 00	7	112 00
"	13 84	J. A. Utterbach	2523	500 00	7	363 00
Dec	2 84	Lingham & Moore	2524	400 00	7	56 00
"	18 84	E. C., P. H., M. L., & O. J. Baig	2525	2000 00	7	350 00
Jan	24 85	E. Cheney	2526	50 00	7	
Feby	24 85	E. E. Roberts	2527	500 00	7	70 00
July	14 85	Albert Merrill	2528	4650 00	7	63 00
		Carried forward	-	10827 89		1914 35

5.

Notes considered good, concluded.

appraised

		Amount paid	—	1082789	—	194435
Sept	1 83	Albert Merrill	2529	500 00	7	70 00
"	"	"	2530	500 00	7	70 00
Oct	20 85	Edw. Cheney	2531	300 00	7	
Nov	4 83	Albert Jenkins	2532	700 00	7	49 00
Jan	26 87	John V. Seymour	2533	250 00	6	
Feb	21 87	" " "	2534	125 00	6	
Mar.	17 87	" " "	2535	800 00	6	
June	4 87	" " "	2536	80 00	6	
"	25 87	" " "	2537	25 00	—	
Aug	22 87	Albert Merrill	2538	600 00	7	
Oct.	22 87	James Martin	2539	150 00	6	
Feb	1 76	N.P.R.R. Stock	2544	4900 00	8	
Jan	1 83	" " Fractional Dividend Scrip	2545	543 90	6	
				2030179	—	213335
						1816844

6.

Accounts & Claims.

affraiment

Cash loaned Haskins & Cheney
per balance sheet, Dec 1-1887 7468 13 7468 13

1/2 Haskins & Cheney's Tools,
Machinery & Repairs on hand, per
inventory (estimated) Sept 1-1887 2119 66 1369 66

Old Local Accts.

C. L. Oatman	1863	37 45	
G. W. Follet	1862	25 51	
J. H. Amborn	1863	56 3	
John Dillenbeck	1863	23 9	
Levi Underwood	1863	84 0	
Lewis Curtis	1863	186 18	
		<u>265 56</u>	000 00

Accounts Considered Good

'75-'84	N. Barney, Winthrop Iowa	286 85	
80-84	E. D. Meatyard, Lake Geneva Wis.	14 18	
79-84	J. V. Seymour " " "	18 82	
		<u>319 85</u>	319 85
			<u>915 764</u>

Cash on hand & in bank 919 73 919 73

7. Accounts considered worthless

Yrs.	Whom against.	Place.	State	Am't.	Appraised.
80-83	Aimworth, Holmes & Co.	Stuart	Ia	48 11	
84	H. S. Brown	Salem	Wis.	3 60	
80-85	S. R. Hogaboom	Creston	Ia	98 43	
80-84	W. B. Nichols	Madaryville	Ind	21 11	
82-83	L. Petty	Fairfield	Ia.	74 81	
84	E. M. Pope	Mankato	Minn	13 05	
81-84	E. Parker.	Jesuf.	Ia.	17 93	
84	J. H. Dove	Lake Geneva	Wis.	5 35	
82	C. K. Phelps	" "	"	90	
82-84	Bickman Bros.	Clayton	Iowa	4 32	
83-84	Flick & Schaffer	Bunkerhill	Kan.	4 95	
80-85	A. Lockwood	Rolling Prairie	Wis.	75 00	
82-83	Thos. Longbotham	Potosi	"	182 01	
80-83	Little & Storing	Kasson	Minn	25 00	
80-81	W. S. O'Brien	Hartland	Wis.	63 35	
80-81	Stone & Wold.	Lee Verne	Minn	36 66	
78-80	E. J. Turner	Kenneth	Kan.	2548 79	
80-81	D. E. Welsh	Baraboo	Wis	34 39	
82	Scott Arnold	Bloomington	Ill.	3 90	
79-84	A. R. Butler	Badger Mills	Wis.	171 97	
75	Israel Bann	Mt. Zion	Ill.	100 00	
77-79	Geo. Brown	Delton	Wis.	158 76	
77-79	Bartlett & Thorp.	Lake City	Minn	192 51	
78-79	R. C. Barnard	Sloan	Ia.	200 00	
77	A. M. Bradley	Atlantic	"	57 00	
77-79	W. S. Clark	Shasta Center	Mich	193 65	
80	Floyd Colman	St. John	"	3 11	
76-79	Wm Cook	—	—	57 00	
76-79	Phillips Cool	De 108-er	Ind	4448 00	
		Carried forward.		4848 66	

8. Accounts considered worthless, continued.

		Am't for'd.		1843 66	
82	J. W. Cox	Clairinda	Ia.	3 38	
75-83	L. B. Chapel	Ada.	Mich	106 07	
75	Elisha Dodge	Monticello	Wis.	50 00	
75	W. W. Edington	—	—	277 75	
76	Jas. Foster	Orte	Net.	78 17	
82-84	A. P. Gray.	Richmond	Ill.	180 09	
82	C. Gallett	Geneva	Wis.	5 30	
78-80	A. C. Hogaboorn	—	Dak.	30 14 28	
80-81	W. A. Hogaboorn	Brookville	Kan.	221 29	
76	O. A. Hale	Onroe	Wis.	292 50	
79	Arthur Hoyt	Honey Creek	"	15 70	
76-79	H. O. Jahren	Austin	Miss.	652 68	
75-76	Jas. Johnson	—	—	238 36	
80	A. E. Jackson	Jonial	Mich	125 01	
83	Kimball & Inman	Jamesville	Wis	1 13	
76-79	A. G. Kelsey	Farmfield	Net	152 00	
80	E. Lemmon	Honey Creek	Wis	33 19	
75	N. P. Kenyon	Fairwater	"	240 00	
75	Luhenkuhl & Southwick	Anamosa	Ia	62 00	
79	F. W. Mead.	Elgin	Ill.	60 30	
75-80	M. L. Orrell	Quincy	Ind	149 56	
77-78	Papst & Haynes	Lexington	Mich	127 14	
75-81	C. E. Palmer	Baraboo	Wis.	168 79	
75	Wm. Stallman	—	—	80 00	
80-82	Stephenson & Krummweide	Waverly	Ia	130 59	
78-80	S. Swenson	Lawler	Ia	220 50	
78	J. C. Schuttz.	Garner	"	57 00	
77-80	H. C. Torrey	Racine	Wis.	39 34	
76	John Van Slyck	Haw ¹⁰⁹ ings	Miss.	80 06	
		Carried for'd.		11705 84	

9. Accounts considered worthless, concluded.

		Aunt. Ford.		11705	84		
80-81	H. Madsenworth	Brookfield June	Wis.	2	06		
76	Melch & Goebel	Glencoe	Minn	107	50		
76-79	M. A. Weirs	Saranac	Mich	98	29		
76-80	E. E. Wallace	Momunouth	Ill	10	00		
76-80	Geo. Waterbury	Polo	"	150	00		
76-80	J. H. Mc Bride	Aledo	"	50	00		
80	Wm. Naffer	Geneva	Wis.	72	10		
80-83	Jos. Sylvester	"	"	3	50		
				12199	29		
						000000	00

Inventory of Real Estate.

affirmative

Homestead Realty.

Situated in the G.L. Crawford Mfg. Co.'s addition to the city of Lake Geneva, Wis..

Commencing at the S.E. corner of Manufacturers avenue and Haskins st. thence east on Haskins st. 375 ft.; thence due south to mill race; thence along N.W. shore of mill pond to Water st.; thence west on Water st to Manufacturers ave.; thence north on Manufacturers ave. to place of starting.

Contains about 3 acres.

3000 -

Manufactory Realty.

Situated in the G.L. Crawford Mfg. Co.'s addition to the city of Lake Geneva, Wis.,

Commencing at a point 375 ft. east of the S.E. corner of Manufacturers ave. and Haskins St., thence along south side of Haskins st. to Allendale ave.; thence S. 46° 25' W. along north side of tail race from factory to its junction with the waste race, 312 ft.; thence across said junction to south side of waste race;

Carry 1116 forward

3000 -

thence $N 6\frac{1}{4}^{\circ} E.$ along south side of waste race 56 ft.; thence $S 56^{\circ} 40' N.$ along south side of waste race 307 ft.; thence $S 40\frac{1}{2}^{\circ} N.$ along south side of waste race $192\frac{1}{2}$ ft.; thence $S 22\frac{3}{4}^{\circ} E.$ 204 ft.; thence $N 76^{\circ} 40' E.$ 199 ft.; thence south along Allendale ave. 224 ft.; thence $N 89\frac{1}{4}^{\circ} N.$ to east side of mill pond, 307 ft.; thence north along east shore of mill pond to a point due south of the starting point; thence due north to the starting point on Haskins St.

3000 —

Contains about 5 acres and includes the following:—

40 Horse power water privilege.

Manufactory building.

2-36" Water wheels.

164 ft. $2\frac{1}{2}$ " & $2\frac{3}{4}$ " Line shaft.

12 Shaft couplings.

18 " Hangers.

Culleys & Counter shafts

75 ft. 12" Main belt.

Old saw mill.

Old wooden mill & 10 H.P.

Water wheel.

Office building 16x28-2 story.

All small belts.

20000 —

Carried $\frac{1}{2}$ forward.

23000 —

Piece of Land.

Commencing 60 ft. east
of N.E. corner of Manufacturers
ave. and Haskins st., thence
east along Haskins st. 60 ft.;
thence north 400 ft.; thence
west 60 ft.; thence south 400 ft.;
to starting point.

23000 -

150 -

Lots.

Situated in addition of
G. L. Crawford Mfg. Co. to the
city of Lake Geneva, Wis.

No. 4-5-8-13-16	Block No. 7	75 -	375 -
" 6	" " 13		150 -
" 1-2-3-11-5-6	" " 11	75 -	1150 -
" 1-2-3-11-5-6	" " 15	100 -	600 -
" 1-2-3 North 1/2	" " 16		150 -
" 1-2-3-11	" " 19	200 -	800 -
" 1-2-3-11-5-6-7-8	" " 20	100	800 -
" 5.	" " 22		150 -
" 2	" " 23		150 -
" 1-2-3-11-5-6-7-8-9	" " 25		
2-3-6-7 @ \$500. - 1-11-5-8-9 @ \$250. -			3250 -

Situated in addition of
H. Rich to the city of Lake
Geneva, Wis.

Lots. No. 31-32.

2000 -

Carried forward

32025 -

Clay County. N. Carolina.
 Land grant #2800, dated
 Dec. 18th. 1865, and recorded in
 Book "D" page 911 of the records
 of said county.

Contains 640 acres.

32025 -

1 25 800 -

Marathon Co. Wis.

Owned jointly by John
 and James Haskins.

S. E. $\frac{1}{4}$, Section 14, Town
 26, Range 5.

Contains 160 acres.

500 -

33325 -

14. Inventory of Factory Machinery
and Tools.

Foundry Department.

- 1 48" Cupola & Stack.
- 1 #11 "Root" Foundry blower.
- 1 Large Mill, 36" x 54" for frames.
- 2 Small " 24" x 36" " small castgs
- 1 Double Wheel " 36" x 12 " wheels.

1000 -

Single Mover

Outfit as follows:-

- 29 General Patterns & Mould Bds. ^{per repair list.}
- 18 Cards of Snap Patterns.
- 8 " " Malleable "
- 10 Flasks for Frames, (Wood)
- 20 " " Wheels, (Iron)
- 160 " " all other parts. (Wood)

25 -

Reaper.

Outfit as follows:-

- 81 General Patterns & Mould Bds.
 per repair list.
- 144 Cards of Snap Patterns
- 20 " " Malleable "
- 14 Flasks for Frames, (Wood)
- 10 " " Wheels, (Iron)
- 200 " " all other f^{ts}. (Wood)

25 -

1050 -

15.

Factory Machinery & Tools, continued.

Appraiser's

Cultivator.

1050 -

Outfit, as follows: -

35 General Patterns & Mould Bds.

Per repair list.

12 Cards of snap patterns.

90 Flasks for all parts.

25 -

Sundries.

2 Snap Flasks.

72 " " Bottom boards.

1100[±] " " Heights1800[±] Flask Clamps.

1 Set patterns for 17" Globe stove.

1 " " " 22" " "

All other sundry Jobbing Patterns
in foundry, Machine Shop,
wood-shop & office.

25 -

16.

Factory Machinery & Tools, continued.

Appraisment

Machine Department		
		1100 -
1	2 1/2" X 30" X 8' Bed Pond Planer.	300 -
1	18" Swing X 12 ft. " Engine Lathe, ^{Screw Cutting} back gear.	200 -
1	12" " X 6 " " " " " "	150 -
2	16" " X 7 " " " " "	200 -
1	16" " X 5 " " " " "	100 -
1	11 ft. " X 8 " " Heavy Boring lathe.	250 -
1	20 in. " X 6 " " " " "	100 -
1	22 " " X 6 " " Buck geared " "	25 -
2	18" " Upright Press drills, back geared.	100 -
1	6" " " Double Spindle drill.	75 -
1	5" " " Press drill, light.	10 -
1	5" " " Post drill for knife backs.	5 -
1	10" " X 11 ft. Bed. Horizontal drill.	10 -
1	18" X 8" X 7" " Milling Machine.	25 -
1	5" Stroke Inside saw key seater (1-5/8" / 1-1/2" / 3/4" / 1/2" / 1/4" / 1/8" / 1/16" / 1/32" / 1/64" / 1/128" / 1/256" / 1/512" / 1/1024" / 1/2048" / 1/4096" / 1/8192" / 1/16384" / 1/32768" / 1/65536" / 1/131072" / 1/262144" / 1/524288" / 1/1048576" / 1/2097152" / 1/4194304" / 1/8388608" / 1/16777216" / 1/33554432" / 1/67108864" / 1/134217728" / 1/268435456" / 1/536870912" / 1/1073741824" / 1/2147483648" / 1/4294967296" / 1/8589934592" / 1/17179869184" / 1/34359738368" / 1/68719476736" / 1/137438953472" / 1/274877906944" / 1/549755813888" / 1/1099511627776" / 1/2199023255552" / 1/4398046511104" / 1/8796093022208" / 1/17592186044416" / 1/35184372088832" / 1/70368744177664" / 1/140737488355328" / 1/281474976710656" / 1/562949953421312" / 1/1125899906842624" / 1/2251799813685248" / 1/4503599627370496" / 1/9007199254740992" / 1/18014398509481984" / 1/36028797018963968" / 1/72057594037927936" / 1/144115188075855872" / 1/288230376151711744" / 1/576460752303423488" / 1/1152921504606846976" / 1/2305843009213693952" / 1/4611686018427387904" / 1/9223372036854775808" / 1/18446744073709551616" / 1/36893488147419103232" / 1/73786976294838206464" / 1/147573952589676412928" / 1/295147905179352825856" / 1/590295810358705651712" / 1/1180591620717411303424" / 1/2361183241434822606848" / 1/4722366482869645213696" / 1/9444732965739290427392" / 1/18889465931478580854784" / 1/37778931862957161709568" / 1/75557863725914323419136" / 1/151115727451828646838272" / 1/302231454903657293676544" / 1/604462909807314587353088" / 1/1208925819614629174706176" / 1/2417851639229258349412352" / 1/4835703278458516698824704" / 1/9671406556917033397649408" / 1/19342813113834066795298816" / 1/38685626227668133590597632" / 1/77371252455336267181195264" / 1/154742504910672534362390528" / 1/309485009821345068724781056" / 1/618970019642690137449562112" / 1/1237940039285380274899124224" / 1/2475880078570760549798248448" / 1/4951760157141521099596496896" / 1/9903520314283042199192993792" / 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17.

Factory Machinery & Tools, continued.

Appraisment

<u>Machine Department, concluded.</u>		
1	8"-3 Jaw Combination chucks.	2874 -
1	Holding form for drilling gear covers.	20 -
1	Holding form for drilling gear covers.	1 -
2	Angle " " " Frames.	1 -
6	3 1/2" Parker vices.	6 -
3	11" " " "	3 -
7	Bed forms for boring lathes.	1 -

Blacksmith Dept.

1	1/2" Shear & Punch. (Long & Aldatter, Makers)	200 -
1	60" Power Hammer, (Bradley, Moke)	100 -
2	Cast Frames forges.	20 -
1	8"x12" Heating furnace.	5 -
1	8"x18" " "	10 -
1	#1 "Root" Blower.	40 -
1	Common Bolt Header.	1 -
130 #	20 Pair Cast dies.	1 -
117 #	Hot. iron gauge stops.	1 -

Reaper.Hammer dies & forms as follows:-

624 # 13 fair Cast Hammer dies for sundry parts.

18 # 1 fair Cast dies for crank pin.

23 # 2 forms for rake link.

75 # 1 " " seat spring.

18 # - Set of sundry gauges.

Carried forward

3284 -

Blacksmith Dept.

3284 -

Reaper forms etc. concluded

- 25[#] - 1 Cast form for #3 shoe.
 101[#] Sundry other small forms.
 96[#] 1 Cast form for brace bar.
 68[#] 1 " " " Malleable gear.
 192[#] 1 " " " " Tracks.
 90[#] 1 " " " " Rake head.

5 -

Mower.Hammer dies & forms as follows: -

- 23[#] 1 Pair Steel dies for pins.
 20[#] 1 " " " " 18 1/2 Pit. ball.
 36[#] 1 " " " " Pitman bolts.
 31[#] 1 " " " " Flat faced. General use.
 61[#] 1 " " " " Lift Lever.
 48[#] 1 " Cast " " Pitman Ball
 227[#] 11 " " " " Sundry parts.
 120[#] 2 Forms for Tilt & Lift levers.
 151[#] 1 " " " " Seat spring
 71[#] 1 " " " " " "
 150[#] 2 " " " " Lift lever.
 35[#] 1 " " " " Gear cover spring
 28[#] 1 " " " " Front brace.
 15[#] 1 " " " " Lift chain.
 16[#] 1 " " " " Main box yokes.
 30[#] 1 " " " " Tilt Bar.
 25[#] 1 " " " " Pitman hook.
 37[#] 1 " " " " Crank shield.

Carried forward

3289 -

19. Factory Machinery & Tools. Continued. Appraiser's

Blacksmith Dept.

3289-

Mower forms etc. concluded.

- 52# 2 Forms for #4 & 5 Shoes.
 41# 1 " " Brace bar yokes.
 18# 1 " " Draw rod.
 40# 1 " " Chain hook.
 36# 1 " " Whiffletree hooks.

5-

Cultivator

Hammer dies & forms as follows:-

- 286# 5 Pair Cast dies for sundry parts.
 16# 1 Cast form for Whiffletree yoke.
 191# 1 " circle for setting tires.
 125# 1 " Form in 2 parts for
 Parallel bar.
 45# 1 Cast Form for Shovel arms.
 68# 2 " Levers with handles.
 29# Holder for Swaging arms.

2-

All other forms & tools

- 44# Wrot. vise for heading 1/4" Pins.
 60# Sundry gauges, wedges, etc.
 17# Wrot. vise for welding chains.
 21# 2 Cast 60° Swage Blocks.
 35# 3 " Cones for rounding rings.

1-

Carried forward

3297-

Wood Dept.

		3297 -
1	Eagle 2 Spindle Shaper.	100 -
1	Slitting saw table.	5 -
1	Cut off saw with R.R. carriage.	25 -
1	24" Cony planer.	25 -
1	Upright boring machine, wood stand.	15 -
1	Turning lathe, 18" swing, 12 ft. Wood bed.	15 -
1	Light mortiser, wood standard.	1 -
1	" Sticker, 6" heads, with 2 pair cutters, 1 straight & 1 2" O.	5 -
1	Pattern makers double saw table, (Slitting & crossing) Iron frame.	50 -
1	Sand belt machine, 42" from center to center, 12" Pulleys. & 10" T. & L. Pulleys.	5 -
1	20" Sand wheel & frame.	1 -
1	Wood frame jig saw.	5 -
1	Milling machine for holes.	1 -

Stoves & Fittings.

1	17" Globe Stove in Paint shop.	1 -
2	22" " " with upper drums.	5 -
3	24" Round Oak stoves.	7 -
1	18" x 40" Box stove with core oven.	1 -
13	lengths 6" Pipe & 1 Elbow.	1 -
311	" 7" " " 3 "	1 -

Carried forward

21. Factory Machinery & Tools, Concluded Appraisment

<u>Sundries.</u>			
		3566 -	
1	Platform Spring Delivery wagon.	20 -	
1	6 Shovel Cult. 2d. hand.	3 -	
3744#	Old Reaper repairs.		
248#	3 Wheel Pattern castings.		
298#	6 Draw Bar "		
400#	3 Wheel Flask Patterns Castgs.		
264#	Reaper & Mower frame " "		
1577#	Sundry other " "		
429#	Set of Forge castings.		
287#	Wrot scrap in small shop.		
1344# 8591	Old forms, etc. 8591#	6 -	2577
1	1000# Buffalo Platform scale.		5 -
1	2500# " " "		10 -
1	Snow & Coal car.		2 -
1	Paint Mill.		1 -
1	Hand truck.		1 -
		3633 77	

Inventory at Warehouse.

Appraisement

11	Single Mower 1875-77	20 -	220 -
7	" " 1877-82	25 -	175 -
2	I. F. Reapers, complete & boxed.	110 -	80 -
6	M. F. " " refitting & painting	10	60 -
9	I. F. " " but require J		
5	M. F. " " "		40 -
5	" " without finger bars or platforms.		
1	Moline Sulky plow 2d hand.		5 -
2	#5115 Steel beam "	5 -	10 -
1	#21 wood " "		5 -
1	#42 " " "		5 -
1	16" Breaker bottom less share		1 -
6	Cast Plow shares		1 -
3	" " shins.		
1	#77 " " share		
1	#70 Steel " "		1 -
1	" Land side		
1	Long bar share		1 -
2	Stark Planter attachments		
1	"Boss" Corn Planter.		5 -
1	3 Section, 60 tooth harrow.		3 -
1	2 " 40 " "		2 -
240	Rake blades.		
60	" Urns.		
6	Platform nose wings.		
28	Chain boards.		
7	Platform grain wings		
37	Bent track boards.		
42	" " sticks		
17	set Whiffletrees, 2d hand		1 -
15	Neck yokes, "		1 -
5	Sulky plow 3 horse ¹²³ , eveners.		616 -

Inventory of Office Outfit.

Appraisment

1	"Hall" Safe 30x40x48"	50 -
1	Business Desk 30x56" Letter File & 5 drawers.	5 -
1	Book-keepers Desk, 32x72 with 3 drawers.	2 -
1	Desk 30x40x48, 11 drawers & case of pigeon holes.	2 -
1	Stationary case & Letter file 12x48x72.	1 -
1	Copy Press. 10x14	1 -
1	" " Stand & Book case.	
1	Bill book stand.	
1	Electric Pen & outfit.	1 -
1	8 day Pendulum clock.	1 -
1	Oval table, 42x54.	
1	Square " 30x42	
1	Common Lounger.	
1	Arm chair.	
6	Common wood bottom chairs.	1 -
1	Plat & frame of Crawford addition.	
1	Sign, 36x72, "Crawford M & R Co."	
3	Japanned tin stationery cases.	
1	Double ink stand.	25
4	Spring paper holders.	25
1	16" Hickory stove.	1 -
6	Lengths 6" stove pipe & 2 elbows	
		65.50

24.

Saw Mill & Outfit

Appraisement

1	6 ft. x 7" Saw		
2	Pinch Bars.		50
1	Good Cross cut saw	1 -	
1	Poor " " "		25

Lumber.

1 "	Oak	10 ft.		
1 1/2 "	"	40 "		
2 "	"	150 "		
1 pc.	6" x 6" x 12 ft.	Oak	36 ft.	
1 "	8 x 8 x 12 "	"	63 "	3 -
8 "	3 x 4 x 8 "	"	64 "	
1 "	6 x 6 x 16 "	Pine	48 ft.	
3 "	6 x 6 x 20 "	"	180 "	
1 "	4 x 6 x 20 "	"	26 "	
			257 " Old.	
1 "	Basswood	100 ft.		50
12	Stone boat plank.	2" x 12" x 6 ft.	1 -	12 -
				1725

25 Household & other minor property Appraisement

<u>Stoves & Trimmings</u>		
1 #4 "Splendid" Base burner.		5-
1 #6 "Laurel" Parlor wood stove.		2-
1 #9 "Home Companion" Wood cook stove with reservoir.		2-
1 18" Round "Oak" stove		5-
4 18" Box stoves.	1 -	4-
14 Lengths 6" Stove pipe	10	1 40
4 Elbows. 6"	10	40
2 Coal hods.	25	50
1 Copper boiler.		10
1 Tea kettle		10
1 Cooking "		10
1 Spider		10
2 Pan cake griddles.	25	50
4 Sad irons.	20	80

<u>Bedding.</u>		
2 Good feather beds.	6 -	12 -
3 Medium " "	3 -	9 -
5 Good Pillows	50	2 50
5 Medium " "	30	1 30
1 " Bolster.		10
1 Wool Mattress		2 00
4 Good Wool Blankets	50	2 00
5 Medium " "	10	50

Carried ¹²⁶ forward

51 60

Furniture.

			51 60
11	Common Bedsteads.	50	2 -
1	Sofa, hair cloth cover.		2 -
1	" Brussels "		50
2	Drop leaf dining tables	50	1 00
6	Wood bottom chairs.	25	1 50
2	" " rocking chairs	50	1 -
1	" " arm "		75
1	Common bureau.		2 -
2	" small wash stands.	50	1 -
1	Marble top center table.		4 -
1	Corner "What-not"		50
1	Burdette organ.		13 -
1	Ingtrain Carpet, 20 yds.	10	2 -
2	Common clocks.	1 -	2 -
1	Old style desk.		50
1	Desk, letter, & book case.		5 -

Provision, etc.

122 #	Granulated Sugar.	08	9 76
13	Sacks "Geneva" Flour.	1 -	13 -
10 bu.	Potatoes	80	8 -
26 #	Fairbank's "Tom, Dick & Harry" Soap.	04	1 04
1 bbl.	40 gals. Soft soap.	15	6 -

27. Household & Other property continued.

Appraisment

	<u>Farm tools, wagons, etc.</u>		128 15
2	3 tooth one horse cultivators	75	1 50
1	5 " " " "		1 25
1	7 " " " "		1 50
1	23 " 5 beam "Scotch" harrow.		2 -
2	17 " "H" Harrows.	25	50
1	Stubble Plow		10 -
1	Road scraper.		3 -
1	Dickey Fan mill.		50
1	Old Lumber wagon.		50
1	Light " " no box.		10 -
1	Old open buggy.		5 -
1	Pair Bob sleighs		10 -
1	Sled.		25
1	2 ft. x 3 in. Grindstone & frame.		25
1	New 19 round ladder.		3 -
1	Scythe & snath.		50
1	Post auger.		1 -
3	Hand rakes.	10	30
1	500 ^{lb} Platform scales.		2 -
1100	ft. 1" Rope.		1 -
1	Partial set Carpenters tools, fair.		10 -
1	" " " " old & poor.		2 -
1	Carpenters Tool chest.		4 -
1	Washing machine.		50
2	Five Oil tanks, poor.		2 -
1	Bushel Basket.		10
1	Half " "		10
1	"Enterprise" Meat cutter.		2 00
2	Axes, 1 Fair, ²⁵ 1 Poor, ¹⁰		35

128

Carried forward

203 25

28. Household & Other property, continued Appraisement

<u>Farm tools, etc., concluded.</u>		203 25	
1	Buck saw.		25
2	5 gal. Jacket oil cans.	50	1 -
1	60 gal. Caldron kettle.		5 -
1	Leach tub.		50
1	Common crow bar.		50
2	Wheel barrows, home made.	2 -	11 -
1	" " $\frac{3}{4}$ finished.		1 50

Books.

1	Set 6 Inter-Ocean Curiosity Shops.	20	1 20
1	" 15 Chambers Cyclopedias.		10 -
1	Common sense medical advisor.		25
1	Dictionary of the Bible.		25
1	History of Walworth Co.		25
1	Dr. Danielson's counselor.		25
1	Immocents abroad.		25
1	Field, dungeon & escape.		25
1	Life of Logan.		2 50
1	Comprehensive history of the great Civil war.		2 -
1	Aesop's Fables.		25
1	Green Mountain Boys.		25
1	Peoples History of the U. S.		1 -
1	Sardner's history of all nations.		1 -
1	Dow Quixote.		25
1	Ridpath's history of the U. S.		1 -
1	Family atlas.		1 -

Carried forward

29. Household & Other property. concluded. Appraisement

<u>Books, concluded.</u>		237 ⁹⁵
1 Revised statutes of the State of Wisconsin, 1878.	1 -	
1 Webster's Dictionary	3 -	
1 Chicago, the great conflagration.	25	
- Sundry other small books found in secretary.	50	

<u>Sundries</u>		
24 Ordinary glass kerosene lamps.	25	1 -
2 Common silver watches	250	5 -
1 Cloth hand satchel.		10
5600# Range coal.	8 -	2240
23 bu. Ear corn.	25	575
25 " Shelled "	50	1250
1 Lot old scrap iron, 200#	30cwt.	60
2 Pigs, $\frac{1}{5}$ Interest. 300# = 60#	06	360
1 Cord Wood in logs.		200
2 " Old fence rails.	175	350
315 Common fence pickets	150K	4.72

30387

State of Wisconsin, } ss.
WALWORTH COUNTY.

Edward Cheney, of said
county, being duly sworn, on oath says, that he is the Executor of the will
of John Mackin's deceased of said county, and
that the above and foregoing is an inventory of the real and personal property of the said
John Mackin's dec'd; that said inventory is in all respects
just and true; that it contains a statement of all the real estate and of all the personal property which has
come to the possession or knowledge of this deponent, and that upon diligent inquiry he has not been
able to discover any property or estate belonging to said estate which is not included herein.

SUBSCRIBED and sworn to before me this 20th
day of March A. D. 1888 Edward Cheney
John B. Simmons
Notary Public
Wis.

State of Wisconsin, } ss.
WALWORTH COUNTY.

We, the undersigned Appraisers, do hereby certify that pursuant
to the warrant to us for that purpose directed and herewith returned, we have appraised all the property
described and mentioned in the above and foregoing inventory, which has been to us exhibited by

Edward Cheney, Executor
of said deceased, setting down opposite to each item in said inventory, distinctly in figures, the value
thereof in money, as by us determined on this 1st day of March A. D. 1888

WITNESS our hands at Lake Geneva Wis. this 20th day of
March A. D. 1888

B. G. Merrill
Darius Mackin

Appraisers.

COUNTY COURT, WALWORTH COUNTY.

In the Matter of the Estate

of

JOHN HASKINS, Deceased.

The application of Edward Cheney, executor of the last will and testament of John Haskins deceased, for the settlement and allowance of his final account and the assignment of the residue of the estate of said deceased to such other persons as are by law entitled to the same, coming on to be heard at a special term of said County Court, appointed to be held at the office of the County Judge in the Village of Elkhorn in said County of Walworth, on the 11th day of November, A.D. 1890, pursuant to a written stipulation on file in said Court subscribed by said executor and by the heirs-at-law of said John Haskins deceased;—and said executor having appeared in person and by his attorney John B. Simmons, and Mary O. Blakeslee and Herbert Eugene Haskins, heirs-at-law and devisees of said John Haskins deceased, having appeared in person and by their attorney Wallace Ingalls, Esq.,—and said hearing having been adjourned from time to time, by mutual consent of all said parties, until the 8th day of December, A.D. 1890, at which time the Court proceeded to hear and determine the ~~said~~ said application:—Now after hearing all the allegations and proofs of the parties, and after examination of the account and vouchers of said executor and all objections thereto, and said account being thereupon re-stated by the Court in accordance with the written stipulation of the parties this day subscribed by them and duly filed in said County Court, the Court finds as follows, to-wit:—

First:— That the amount properly chargeable to said executor is the sum of -----\$78,223.99

Second:- That the amount properly credited to him is--\$29,750.80

Third:- That the residue in his hands consists of---

- a. The real estate of said deceased, valued at---\$33,323.00
- b. Stock, tools and machinery not disposed of---\$ 4,017.48
- c. Notes, accounts and other choses in action---\$ 5,563.06
- d. Cash in Bank,-----\$5,507.65

Total value of residue,-----\$48,473.19

Fourth:- That said John Haskins, deceased, died seized of the following described real estate, to-wit:-

- a. The Homestead of Deceased,--situated in the Geneva Lake Crawford Manufacturing Company's Addition to the City of Lake Geneva, in Walworth County, State of Wisconsin, bounded as follows, that is to say:-

Commencing at the south-east corner of Manufacturer's Avenue and Haskins St.,--and running thence east on Haskins St., 375 feet;--thence due south to the mill-race;--thence south-westerly, along the said mill-race and the shore of the mill-pond, to Water St.;--thence west on Water St., to Manufacturer's Ave.;--thence north on Manufacturer's Ave. to the place of beginning, containing about three acres. *+ other land*

X b. The Factory Property.

Commencing in the center of Haskins St., as designated on the plat of said Geneva Lake Crawford Manufacturing Co.'s Addition to Lake Geneva aforesaid, -at a point 575 feet east from the east line of Manufacturer's Ave. in said Addition, -and thence running eastward, north-easterly and northward, along the center of Haskins St. aforesaid, to its junction with Allandale Ave.; -thence south-easterly in the center of Allandale Ave., to the southern extremity of Large Lot G. in said Addition; -thence north-easterly and north, along the south-eastern and eastern boundary lines of said Large Lot G., to the north-east corner thereof; -thence east across the stream formed by junction of the waste and tail race of factory water-power, to the north-west corner of Large Lot H.; -thence south 6 and 1/4 degrees east, on the west line of said Large Lot H., to the south-west corner thereof; -thence on the north-west boundary of Lot I, south 56 degrees and 40' west, 106 feet to a lane; -thence across said lane to the north-east corner of Lot N.; -thence on the boundary line of Lot N., south 56 degrees 40' west 199 feet; -then south 40 degrees 15' west, 172 feet; -then south 21 3/4 degrees east 204 feet, -then north 76 degrees 40' east, 183 1/2 feet to said lane; -thence south on said lane 179 feet to north-east corner of Lot K.; -thence west on north line of said lot K. to mill-pond; -thence south along said pond to the south line of section No. 25 in town 2 north, range 17 east -thence west on said section line to the west side of mill-pond; -thence north along the west side of said mill-pond, to a point due south of the place of beginning; -thence north to the place of beginning; -together with the dams, water-power and all rights of flowage connected with or appurtenant to said above described premises.

c. Other lands in the Geneva Lake Crawford Mfg. Co.'s Add'n.
Commencing in the north line of Haskins St. aforesaid, at a point 60 feet east from the north-east corner of said Street and Manufacturer's Ave; -and running thence east on Haskins St. 60 feet, -thence north 400 feet, -thence west 60 feet, -thence south 400 feet to starting point.

Also lots 4, 5, 8, 13, and 16 in block No. 7

lot 6 in block No. 13, -lots 1, 2, 3, 4, 5, and 6, in block No. 14

lots 1, 2, 3, 4, 5, and 6, in block No. 15, -

the north half of lots 1, 2 and 3, in block No. 16, -

lots 1, 2, 3, and 4, in block No. 19,

lots 1, 2, 3, 4, 5, 6, 7 and 8 in block No. 20; -lot 5 in block 22; -

lot 2 in block 23; -lots 1, 2, 3, 4, 5, 6, 7, 8 and 9 in block 25;

All in the Geneva Lake Crawford Manufacturing Company's Addition to the City of Lake Geneva, in Walworth County, Wis.

d. Lots 31 and 32 in Rich's Addition to the City of Lake Geneva, (formerly the village of Geneva), in said County of Walworth County, State of Wisconsin; -according to the plat and survey of said addition to recorded in the office of Register of Deeds in and for said County of Walworth.

e. 640 acres of land, situated in Clay County, North Carolina,
and known as land grant No. 2800, dated Dec. 18, 1865, and recorded in Book B, page 94, of the records of said County.

f. The undivided one half of the south-east quarter of section No. 14 in town 26 north, range 5 east, in Marathon County,
State of Wisconsin, containing 160 acres of land.

Fifth. * That said John Haskins deceased left surviving him two children, to-wit Mary O. Blakeslee and Herbert F. Haskins, both residents of Walworth County, Wisconsin, his only heirs-at-law. *

Wherefore, It Is Ordered and Adjudged, that the account of said Executor, as re-stated as aforesaid, be and the same is hereby allowed. x And it is further ordered and adjudged, that the cash balance so remaining in the hands of said executor, amounting to the sum of \$ 5,567.65, be and the same is hereby assigned to the said heirs-at-law in the following proportions, to-wit:-To the said Mary O. Blakeslee, the sum of \$ 2,905.51, and to the said H. E. Haskins, the sum of \$ 2,662.14. x That the real estate hereinbefore referred to as the homestead of said testator, and described in the subdivision "a" of the fourth clause of this judgment, be and the same is hereby assigned to John V. Seymour. x And that all the residue of the real and personal estate of said John Haskins deceased, be and the same is hereby assigned to the said Mary O. Blakeslee and Herbert Eugene Haskins, in common and undivided, that is to say, to each an undivided one half in reof. x Dated Elkhorn, Wisconsin, December 8th, A.D. 1890.

By the Court,

Jaynes B. Wheeler
COUNTY JUDGE.

C O U N T Y C O U R T, W A L W O R T H C O U N T Y.

In the matter of the Estate

of

J O H N H A S K I N S, Deceased.

To The County Court of Walworth County:-

The petition of Edward Cheney, executor of the last will and testament of John Haskins deceased, respectfully shows:-

That he has fully administered the estate of said John Haskins deceased, and paid all the debts, funeral charges and expenses of administration, as will appear from his account of his administration herewith rendered.

That the residue of said estate consists of the real estate referred to and described in the general inventory of the said estate, on file in said County Court, amounting to \$33,325.00
Cash proceeds of the personal estate, ----- 2360.62
Factory machinery, tools etc., as per inventory, ----- 3,594.23
Warehouse merchandise, office outfit, and miscellaneous, -- 423.25
Total, ----- \$39,703.10

That your petitioner in his said account has claimed and does hereby claim extra compensation for his services as such executor, over and above the fees provided by statute, and as a basis and justification for said claim, alleges the following facts, viz:-

That for some years prior to the decease of said John Haskins, nearly his entire estate was and had been employed in the business of manufacturing and selling agricultural machinery, throughout the north-western states, -and in consequence, the capital so employed was, at the time of his decease, invested largely in farmers' notes, book accounts against agents and others, generally of individually small amounts, scattered throughout a wide territory

in the states of Wisconsin, Illinois, Minnesota, Dakota and Iowa:-

That quite a large number of these notes and accounts were the accumulation of the earlier years of such manufacturing enterprise, when the management of the business was in other hands and not controlled by deceased, and when by unwise and reckless management, a great many poor, slow or doubtful claims were placed upon the books:-

That the majority of these notes, accounts, etc., had been sent out for collection, all over the country, in some instances the notes had been lost by collectors, - in others, the parties indebted had been lost track of; - and the work of classifying, looking up and collecting in assets of this character involved special knowledge, great diligence and extraordinary and unremitting effort:-

That a large sum of money was also invested in the manufacturing plant connected with the above mentioned business, consisting of a large factory, a water-power, and valuable and complicated tools and machinery, requiring no small amount of technical or expert knowledge to properly care for, protect and utilize the same;-

That petitioner is a practical and experienced mechanic, having received a thorough scientific and mechanical education, and been employed for many years in the operation of factories and machinery, - and was for some years prior to the decease of said John Haskins, connected with him in business and the general manager and superintendent of his said factory, and thereby acquired a knowledge of the business and acquaintance with its details possessed by no other person; - and that petitioners special education and experience have been such as to enable him, at all times heretofore, to command a good salary:-

That in addition to the matters already mentioned, there were three claims belonging to said estate, each of considerable magnitude and involving special knowledge and skill, and arduous and unusual labor in their collection, to-wit:-

- I. A life insurance policy or certificate in the Iowa Branch Great Eastern Life Insurance Co., of Anamosa, Iowa, an irresponsible assessment concern.
- II. Certain overdue checks against John E. Burton, which he claimed were given without consideration, and the enforcement and collection of which raised several nice and exceedingly close questions of fact and law, required long and careful research and examination of old documents and correspondence, and close and careful attention through a somewhat protracted litigation.
- III. A claim against Edward B. Meatyard, who at the time of said Haskins decease, was very badly involved financially and was practically insolvent, - which claim was saved only by intimate knowledge of said debtor and his affairs, close attention and great tact.

That each of these exceedingly precarious claims was prosecuted and followed up to a successful conclusion by petitioner, and over \$8,500 collected and saved to the estate, which but for his attention and care might easily have been lost.

And in conclusion, that owing to the extensive and complicated nature of the business in which the deceased was engaged as aforesaid, the confused and intricate condition of his affairs, the scattered condition of the estate assets, and the litigation in which the estate has been involved, the settlement of said estate has necessarily occupied a very large share of the time and attention of petitioner since his appointment, and has prevented him from engaging in any permanent business or employment.

Said petitioner further alleges that the heirs-at-law of said John Haskins deceased are Mary O. Blakeslee residing at the town of Lyons, Wisconsin, and Herbert E. Haskins residing at the City of Lake Geneva, Wisconsin, both of whom are of full age; -and that no person interested in said estate is either infant or subject to any other legal disability.

Wherefore, your petitioner prays that his said account may be allowed, and that the residue of said estate may be assigned by the order or judgment of this Court, to such other persons as are by law entitled to the same.

Dated Lake Geneva, Wisconsin, November 3rd, A.D. 1890.

Edward Cheney

State of Wisconsin,

Walworth County, ss. Edward Cheney being duly sworn on oath says that he is the executor of the last will and testament of John Haskins deceased, heretofore duly appointed by the County Court of Walworth County, -that he has read and knows the contents of the foregoing petition, -and that said petition is true of his own knowledge except as to the matters therein stated on information and belief, and as to those matters he believes it to be true.

Subscribed and sworn to before me

this ^{3rd} day of November, A.D. 1890.

Edward Cheney

John D. Simmons

Notary Public

Wls

Complete and Final Statement
Of Edward Cheney, Executor
In account with the Estate of John Haskins, Deceased.

Inventory		66207 20		
Notes collected, not appraised, Schedule A.		6714 35		
Gain on notes appraised, Schedule B.		1640 60		
Interest received, Schedule C		3306 61		
Rents received, Schedule D		48 37		
Gains on sales, etc., Schedule E.		132 12		

Credits.

Advances to Mrs. M. D. Blakeslee, Schedule F.		10912 92		
" " Jas. Simmons, Guardian of H. E. Haskins, Schedule G.		11156 30		
Expense Account, Schedule H.		4066 38		
Deductions from inventory, Schedule I.		1447 46		
Property disposed of by Gift, Schedule J.		334 21		
Losses on sales, Schedule K.		3		
Time from Dec. 1, 1887 to Nov. 1, 1890		935		
Commissions, Schedule L.		547 25		
Extra Compensation, as per claim set forth in petition,		2017 75		
Cash on hand		2360 62		
Balance of inventory, Schedule M.		44269 36		
		78050 25	78050 25	

Lake Geneva, Wis.
 Oct. 31st., 1890.

Schedule. A.

Notes and Accounts collected which were not appraised.

<u>Notes.</u>				
C. W. Mc Donald	38383			
Wm. Miller	3250			
H. C. Fletcher	100			
B. Amehoff	3069			
Life Insurance	99875			
J. D. Trower	1990			
W. Curtis	100			
John E. Burton	5000			
Geo Gardner	15			
John Stuart	10			
H. W. Cobb	13			
John Hagan	275			
			6607	42
<u>Accounts.</u>				
J. A. Mc Donald	16118			
James Campbell	210			
M. C. French	11375			
E. M. Pope	826			
S. R. Hogaboom	3601			
			10693	
			6714	35

Schedule B.

Gains over appraisement on Notes collected.

D. L. Hamlin	5		
F. S. Seymour	64 08		
S. P. Wright	150 52		
T. J. Utterbach	56 7		
C. H. Fernald	112		
J. A. Utterbach	63		
Ingham & Moore	56		
Craig Bros.	350		
E. E. Roberts	70		
A. Merrill	203		
		1640 60	

Schedule C.
Interest Received.

James Martin	75		
T. J. Utterbach	1154		
J. A. "	323		
Northern Pacific R. R.	11426		
Dugham & Moore	6291		
Wm. Miller	730		
H. C. Fletcher	71152		
C. F. Hobart	68		
J. V. Seymour	15501		
W. Curtis	2		
J. Traver	1629		
S. P. Wright	35		
E. E. Roberts	5510		
A. Merrill	29351		
B. Amelhoff	11131		
Craig Brothers	29055		
J. E. Burton	125197		
F. S. Seymour	2082		
E. L. Harris	50		
C. H. Fernald	111		
C. W. McDonald	17063		
A. Jenks	98		
Chas. Kelley	154		
D. L. Hamlin	125		
John Hagan	132		
Sidney Buell	853		
F. C. Madison	20115		
G. W. Gray	557		
D. Wales	123		
E. M. Owen & Son	971		
W. F. Rouse	156		
S. Bailey	11160		
H. W. Cobb	851		
		330661	

Schedule D.
Rents Received.

Lots 11-16, Bk. 8,	10		
Hay lot	311		
Woolen mill	1137		
			11837

145

Schedule E.

Gains on Sales and Personal Property Acquired.

<u>Gains.</u>					
	Lumber from old shed		11		
2	W. F. Reapers \$30. \$15.		115		
1	J. F. "		10		
1	Plow		3		
1	Mower		10		
1	Saw		1		
4	Stone boat flume	50	2		
1	Box Stove			50	
1	Organ		2		
1	Portable Forge		8		
				8550	
<u>Personal Property Acquired.</u>					
	Repairs from agents		11462		
1	Cast chilled Plow		3		
				11762	
				13312	

Schedule F.

Advances to Mrs. M. D. Blakeslee.

	Selections from Household Property	141	21		
2	Horses,	300			
1	Corn Planter	5			
4	Plows	20			
1	Saw	1			
1	Harrow	2			
1	Breaker bottom	1			
1	Vise	1			
20	Bu. Oats (Sud)	110			
1	Horse & Harness	35			
1	Mower	25			
1	Hay Rake	20			
1	Platform spring wagon	20			
12	Pigs	30			
25	Shares Northern Pacific R.R. Stock	2500			
	Haskins & Cheney's bill paid	20	70		
	Chas. Hill's " "	14	50		
	Cash	7736	51		
				10912	92

Schedule G.

Advances to James Simmons, Guardian, H. E. Haskins.

	Selections from Household Property	62 55		
	Mowers, Repairs, etc, from Haskins & Cheney	2235 71		
	" " " Estate	396 16		
24	Shares Northern Pacific R. R. Stock	2400		
1	Box Stove	1		
	Haskins & Cheney's bill	11 88		
	Cash	6056		
			11156 30	

Schedule. K.
Expense Account.

Funeral Expenses	85 50	
Medical Services	30 85	
Head Stone	65	
Insurance on Warehouse, 2 yrs.	50	
Taxes	1021 44	
Expense & advertising factory plant for sale	175 90	
Attorney's services	1113 78	
Travelling expenses on collections, etc	100 01	
Repairing factory	1033 08	
Stationery, appraiser's fees, clerk's services, advertising, sundry repairs and all other minor expenses,	390 82	
		4066 38

Schedule I.
Deductions from Inventory.

	Interest in Tools, machines, etc. of Haskins & Cheney, the same having been transferred to the Estate, and taken by N. E. Haskins,	1369 66		
1	Mower, mistake in count Item found, which should have been credited to N. Barney's ac	25 00		
		40 00		
8	Stone boat plank, found to belong to Jas. F. Campbell. Part of Sidney Bull note which belonged to Haskins & Cheney, but which was inventoried entire	8 00		
		480		
			1147 46	

Schedule K.
Losses.

1	Box stove, rusty & broken.	1 00	
1	Round Oak stove, grate & legs gone	2 00	
			3 00

Schedule L.

Commissions.

Total amount of property accounted for	78050.25		
Less amount of real estate	33325		
		44725.25	
5% on \$1,000.	50		
2 1/2% " 4,000.	100		
1% " 39,725.25	397.25		
		547.25	

Schedule M.

Inventory.

Notes.				
H. D. Smith, balance		38	20	
Wm. Dimmore "		5	00	
Geo. W. Gray. "		36	15	
M. & C. Heston		50		
Louis Curtis		75		
E. Cheney, three notes		712	82	✓
A. Jenkins		651		✓
J. V. Seymour, four notes.		982	35	
A. Merrill		600		
M. C. Flack		511	38	
J. Robinson, three notes		47	81	
Geo. Delany, balance		506		
Florence, Mfg. Co.		274	39	
W. M. Edwards		30		
Walter Havens		115	80	
Peter Gavin		20		
L. M. Salisbury & G. N. Winters.		1800		
N. W. Cobb		311	51	
				5462.50
Accounts.				
Haskins & Cheney		1179	20	
N. Barney		211	85	
E. B. Meatyard		111	18	
H. D. Smith		50		
Jno. Stuart		10		
Jerry Robinson		315		
				1468.38
				6930.88

2.

Amount forward		6930 88
Real Estate, as per inventory on file		33325
Factory Machinery & Tools, as per inventory on file, less the following.	3633 77	
1 Vise	1.	
1 Spring wagon	20.	
1 Cultivator	3.	
4847 th Castings, 6 th Ton.	11.54	
1 Hand truck	1.	
	39.54	
		3594 23
Warehouse Mdee.		
1 I. Fr. Reaper	110	
11 W. Fr. "	110	
19 Second Hand Reapers,	110	
1 Cast chilled Plow	3	
		123
Office Outfit, as per inventory on file		65 50
Saw Mill.		
2 Pinch Bars	50	
1 Saw	25	
		75
1 Complete Post Office		230
		44269 36

State of Wisconsin,

Walworth County, ss. Edward Cheney being duly sworn, on oath says, that the foregoing account, hereto annexed, is a full, true and just account and statement of all the assets and property of the estate of John Haskins deceased, which has come into his hands or under his control as executor of the last will and testament of said John Haskins deceased; -and of the payments and disbursements made and incurred by him as such executor, -also of the balance remaining in his hands as such executor, -down to and including the date hereof.

Edward Cheney

Subscribed and sworn to before me

this is ^{3rd} day of November, A.D. 1890.

John D. Simmons

Notary Public

Wis

APPENDIX III
PROJECT CORRESPONDENCE

WISCONSIN PUBLIC LANDS FIELD ARCHAEOLOGICAL PERMIT 2024
REQUIRED TO CONDUCT ARCHAEOLOGY ON ALL NON-FEDERAL PUBLIC LAND UNDER WIS. STAT. § 44.47
Wisconsin Historical Society

Name/Organization/Contact Museum Archaeology Program Telephone 608-264-6560

Address 816 State St City Madison State WI Zip 53706

E-mail luther.leith@wisconsinhistory.org

Institutional Affiliation Wisconsin Historical Society

Location: County Walworth Civil Town Geneva Municipality Lake Geneva

Town 2N Range 17E Section 36 Quarter Sections NE

Hwy/Rd ☐ Hwy/Rd: _____ Other Type of Project: CLG Arch Survey

Project Description: Phase I Archaeological Survey of ~40 ac for future development by the City of Lake Geneva

Type of fieldwork: Phase I/Survey ☒ Phase II/Testing ☐ Phase III/Excavation ☐ Monitoring ☐

Purpose of the fieldwork: Federal Compliance ☐ State Compliance ☒ Education ☐ Other ☐

Site # 47WL42 Burial Site # BWL-0115 Burial Permit Secured? Y ☒ N ☐ WHS #: In progress

Dates of field work: Begin date: 8/1/2024 End date: 12/31/2024

What institution will curate recovered artifacts, notes, and records? WHS
(A curation agreement must be on file with WHS; all materials must be curated in an appropriate, staffed facility.)

Print name Luther J. Leith ☐ see attachments

Signature of Archaeologist Luther J. Leith Digitally signed by Luther J. Leith
Date: 2024.07.26 07:15:16 -05'00' Date _____

Maps and/or Letters of explanation can accompany this application

Landowner or custodian name Todd Krause, Mayor Phone (262) 215-0514

Affiliation: Mayor of Lake Geneva

Signature of Landowner Todd Krause Date Aug 1 2024

Administrative use only below this line

Permit Approved Amy L. Rosebrough Date 8/5/2024

PLP # 24-1635

Dr. Amy L. Rosebrough
State Archaeologist
Wisconsin Historical Society
816 State Street, Madison, WI 53706
608-264-6494
statearchaeologist@wisconsinhistory.org



**WISCONSIN
HISTORICAL
SOCIETY**

One paper copy and one PDF copy of the final report must be submitted to the State Historic Preservation Office.

Additional authorization or permitting is necessary to conduct work within the boundaries of uncataloged and cataloged human burialsites under Wis. Stat. § 157.70. For more information, whist.org/Request-to-Disturb



Request to Disturb a Human Burial Site

Name of Owner/Agent/Company Requesting to Disturb Museum Archaeology Program - WHS

Contact Address 816 State St, Madison WI, 53706

Contact E-Mail luther.leith@wisconsinhistory.org Contact Phone Number 608-516-6954

Landowner Name (if different) WisDOT Right-of-way

Describe your project, including reason for and nature of ground disturbance:

Utility installation ☐ Private home construction ☐ WDNR Permit Review ☐ Other project ☒

Complete description/additional details: The project is a CLG funded Phase I survey of the Hillmoor property in the City of Lake Geneva in anticipation of future development. Part of the project area extends into the Engine House Burial (47WL42/BWL-0115) site.

County Walworth Civil Town/Municipality Lake Geneva
Town 2 Range 17 ☒ W (circle one) Section 36 Quarter Sections W1/2, NE
Address of property (if applicable) _____
State Site Number 47WL42 Burial Site Number BWL-0115 WHS Case # _____

Cataloging Status (if known)

- ☒ Proposed disturbance is to an **uncatalogued** human burial site or to the uncatalogued portion of a human burial site that contains catalogued human burials.
- ☐ Proposed disturbance is to a **catalogued** human burial site.

Attachments (REQUIRED)

- ☒ Scaled and dated project plans and maps showing the relationship of the proposed ground disturbance to the human burial site. Include labeled boundaries of uncatalogued and catalogued burial areas.
- ☐ Photographs and/or aerial photos (as available) of the project area.

Signed Luther J. Leith Date 7/26/2024
Print Name Luther J. Leith, on behalf of the City of Lake Geneva
Landowner Signature (if different) _____ Date _____

Submit completed form via email to compliance@wisconsinhistory.org. Please allow 30 days for your permit request to be approved and to receive your authorization via email. You may not proceed with your project until you receive authorization from the Wisconsin Historical Society.

From: taylor.lambrigger@wisconsinhistory.org
To: [Leith, Luther - WHS](#)
Subject: Testing Authorization: 24-1578/WL - Request to Distrub Uncatalogued Burial Site: WL-0042/BWL-0115
Date: Wednesday, August 7, 2024 9:31:04 AM

Dear Dr Luther Leith,

Based on the information you have provided for 24-1578, Request to Distrub Uncatalogued Burial Site: WL-0042/BWL-0115 we authorize the proposed subsurface testing within the uncatalogued boundaries of the above-referenced burial site pursuant to the provisions of Wis. Stats. §§ 157.70 (4) and Wis. Admin. Code § HS 2.04 (4) and according to the provisions provided below.

- Your Authorization to conduct these activities shall be valid for a period of one year from the date of this notice.
- Use of a hydrovac is not permitted for this project.
- All subsurface testing that occurs within the uncatalogued boundaries of the burial site shall be conducted by a qualified archaeologist, as defined at Wis. Stats. § 157.70 (1) (i). You may find a list of such qualified archaeologists at the following web site:
<https://www.wisconsinhistory.org/Records/Article/CS2835>.

Please inform your client, however, that Phase I archaeological methods are not adequate to find burials and do not necessarily eliminate the need for archaeological monitoring during construction.

If, after the fieldwork, you wish to make a recommendation against monitoring, please provide clear and ample evidence supporting your recommendation and SHPO will take it under consideration during the review.

If, during the proposed ground disturbing activity, you encounter human remains, you must stop work at that location and contact our office immediately for further coordination, and, in the event that human remains must be excavated and analyzed, for negotiation and execution of an appropriate contract.

Any deviation from the plans described in your submittal materials that may occur within the uncatalogued boundaries of the burial site and involves ground disturbing activity must be described in writing and forwarded to this office for further review and authorization. Such modified work is not authorized by this letter.

Please forward one hard copy of the archaeological monitoring report to our office and one digital copy to compliance@wisconsinhistory.org as soon as the ground disturbance is completed.

Please let me know if you have any questions.

Sincerely,
Taylor Lambrigger
Burial Consultation Coordinator
State Historic Preservation Office

Wisconsin Historical Society

ARCHAEOLOGICAL LITERATURE AND RECORDS REVIEW

Project Name: Hillmoor Property, City of Lake Geneva

County: Walworth

MAP Project: OTH-24-6013

Project Type: Park Development

Legal Description

T 2 N R 17 E Sec(s) 25, 36 Twp Geneva

T 2 N R 18 E Sec(s) 30, 31 Twp Lyons

T _____ N R _____ E / W Sec(s) _____ Twp _____

T _____ N R _____ E / W Sec(s) _____ Twp _____

USGS Quadrangle(s) Lake Geneva 7.5'

SOURCES RESEARCHED

X WHPD-ASI X CEB Atlas X WI Land Economic Inventory (WLEI)

X OSA Site Files _____ CEB Manuscripts X County History

Previous Surveys: Yes X Reports located X Copied/Provided

X Archival Maps and Plats (Attach copies of plats): Yes See Continuation Sheet

Publisher: Unknown (Geneva Map) Year 1850 Publisher: J. J. Stoner Year 1882

Publisher: T. B. Redding & J. J. Watson Year 1857 Publisher: North West Publishing Co. Year 1891

Publisher: Chicago Lithographing Co. Year 1871 Publisher: Rand McNally & Co. Year 1900

Publisher: Everts, Baskin, and Stewart Year 1873 Publisher: Hennessey & Co. Year 1907

Publisher: Warren Beckwith Year 1876 Publisher: Chicago, Milwaukee, and St. Paul Railroad Year 1907

Other: Sanborn Fire Insurance Maps of Lake Geneva (1892, 1900, 1912)

SITES IN PROJECT AREA

(Attach copies of WHPD site forms and maps)

No See Continuation Sheet

Total number of Sites: (note: sites with multiple components may be counted more than once)

Pre-Contact 0

Historic 0

Cemeteries/ Burials 0

Code # 47 _____ - _____ Type _____
Affiliation _____

Code # 47 _____ - _____ Type _____
Affiliation _____

Code # 47 _____ - _____ Type _____
Affiliation _____

Code # 47 _____ - _____ Type _____
Affiliation _____

(Continued over)

SITES WITHIN ONE MILE OF THE PROJECT AREA

(Attach copies of WHPD site forms and maps)

No See Continuation Sheet

Total number of Sites: (note: sites with multiple components may be counted more than once)

Pre-Contact 7

Historic 6

Cemeteries/ Burials 7

Code # 47 WL - 0033 Type Campsite/village
Affiliation Unknown Pre-Contact

Code # 47 WL - 0036 Type Campsite/village
Affiliation Unknown Pre-Contact

Code # 47 WL - 0037 Type [a.k.a. BWL-0087] Mounds
Affiliation Woodland

Code # 47 WL - 0038 Type [a.k.a. BWL-0088] Mounds
Affiliation Woodland, Late Woodland

Code # 47 WL - 0041 Type Campsite/village
Affiliation Unknown Pre-Contact

Code # 47 WL - 0042 Type [a.k.a. BWL-0115] Campsite/village, Cemetery/Burial
Affiliation Unknown Pre-Contact, Historic Indian

Code # 47 WL - 0043 Type Campsite/village
Affiliation Historic Indian

Code # 47 WL - 0044 Type [a.k.a. BWL-0116] Mounds, Cemetery/Burial
Affiliation Late Woodland

Code # 47 WL - 0267 Type Shipwreck
Affiliation Historic Euro-American

Code # BWL - 0045 Type Cemetery/Burial
Affiliation Historic Euro-American

Code # BWL - 0047 Type Cemetery/Burial
Affiliation Historic Euro-American

Code # BWL - 0048 Type Cemetery/Burial
Affiliation Historic Euro-American

COMMENTS: 47WL-0042/BWL-0115 (Engine House Burial) abuts the project area.

0 Sites reported in the project area 12 Sites reported within one mile

Research Conducted by: Neal Moebius Date: 07 / 30 / 2024

X Survey will be conducted and has been scheduled

 Survey is not recommended for this project (see attached letter of explanation)

Review Conducted by: Luther J. Leith Date: 07 / 30 / 2024

SITES IN PROJECT AREA

(Attach copies of plats)

No See Continuation Sheet

Code # 47	_____ - _____	Type _____
		Affiliation _____
Code # 47	_____ - _____	Type _____
		Affiliation _____
Code # 47	_____ - _____	Type _____
		Affiliation _____
Code # 47	_____ - _____	Type _____
		Affiliation _____
Code # 47	_____ - _____	Type _____
		Affiliation _____
Code # 47	_____ - _____	Type _____
		Affiliation _____

Archival Maps and Plats

(Attach copies of WHPD site forms and maps)

No See Continuation Sheet

Publisher: <u>W. W. Hixson & Co.</u>	Year <u>1915</u>	Publisher: _____	Year _____
Publisher: <u>Hennessey & Company</u>	Year <u>1921</u>	Publisher: _____	Year _____
Publisher: <u>Wisconsin? (Map of Geneva Village)</u>	Year <u>1930 ca.</u>	Publisher: _____	Year _____
Publisher: <u>Derr Map Studio</u>	Year <u>c1956</u>	Publisher: _____	Year _____
Publisher: <u>Walter Weisner Studio</u>	Year <u>1959</u>	Publisher: _____	Year _____
Publisher: <u>Forde Printing Inc.</u>	Year <u>1960</u>	Publisher: _____	Year _____
Publisher: <u>Rockford Map Publishers</u>	Year <u>1966</u>	Publisher: _____	Year _____
Publisher: <u>National Map and Publishing Company</u>	Year <u>1973</u>	Publisher: _____	Year _____
Publisher: <u>Rockford Map Publishers</u>	Year <u>2022</u>	Publisher: _____	Year _____
Publisher: _____	Year _____	Publisher: _____	Year _____
Publisher: _____	Year _____	Publisher: _____	Year _____
Publisher: _____	Year _____	Publisher: _____	Year _____
Publisher: _____	Year _____	Publisher: _____	Year _____
Publisher: _____	Year _____	Publisher: _____	Year _____
Publisher: _____	Year _____	Publisher: _____	Year _____
Publisher: _____	Year _____	Publisher: _____	Year _____

**AGREEMENT BETWEEN
THE WISCONSIN HISTORICAL SOCIETY AND
THE CITY OF LAKE GENEVA**

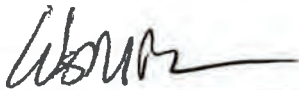
For Phase I Archaeological Survey of the Hillmoor Property
Walworth County, Wisconsin

This agreement is between the Wisconsin State Historical Society, Museum Archaeology Program, (herein referred to as WHS) and the City of Lake Geneva and shall be effective on the date signed by the representatives of these two agencies.

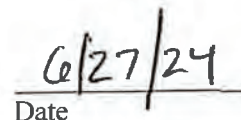
1. The Wisconsin Historical Society will undertake Phase I Archaeological Survey of approximately .40 ac for the following construction project:

Hillmoor Property, City of Lake Geneva,
Walworth County, WI

2. The aforementioned investigations will consist of Phase I Archaeological Survey in compliance with Wisconsin Statutes § 44.40 and 157.70.
3. Costs incurred by the WHS in conducting these investigations will be subject to reimbursement by the City of Lake Geneva. The total cost of this work will not exceed and expenses will be invoiced to the City of Lake Geneva monthly.
4. These services will include expenses incurred to conduct Phase I Archaeological Survey, preparation and acquisition of required permits, and the preparation of a technical report detailing the results of the investigations, as well as public outreach and coordination with the planned speakers associated with the project. The City of Lake Geneva will provide the dates of fieldwork, and cooperation among the City of Lake Geneva, and the WHS Museum Archaeology Program will be maintained throughout the duration of the project.



Wes Mosman Block
Deputy Director/COO
Wisconsin Historical Society



Date

City of Lake Geneva

Date

Scope of Work

Based on our understanding, the Project will consist of Phase I Archaeological Survey associated of the Hillmoor property in the City of Lake Geneva, Walworth County, Wisconsin. The Project proposes a comprehensive literature review of the entire 200 ac property with intensive Archaeological Phase I Survey of approximately 40 ac with high potential to contain archaeological resources including the Engine House Burial (47WL42/BWL-0116) and remnants of a historic farmstead. WHS-MAP will complete the following:

Step 1. Permitting

Upon receiving notice to proceed, a signed agreement, and prior to beginning field work, WHS-MAP will conduct a comprehensive literature and background review of the Project area to determine the likelihood of identifying a historic property. In conjunction with the background literature research WHS-MAP will also obtain a Wisconsin Public Lands Field Archaeology Permit (PLP) and a Request to Disturb a Human Burial Site (RTD) permit necessary to complete the archaeological investigations.

Step 2. Phase I Archaeological Survey

After completion of the permitting and background research, WHS-MAP will complete Phase I survey of the roughly 40 ac with high potential for archaeological resources. Following the *Guide for Public Archaeology in Wisconsin* WHS-MAP will conduct a shovel test survey due to ground visibility being less than 30 percent (i.e. wooded and/or in maintained lawn). This proposal assumes documentation of one site (up to 100 artifacts) associated with the historic farmstead in the northwest corner of the property.

Step 3. Documentation and Reporting

Following completion of the archaeological investigations, a technical report will be drafted addressing the Project and will be submitted to the City of Lake Geneva for review and approval. This report will include a background for the Project Area, a description of the methods used, and the field results. The report will also include WHS-MAP's recommendations for project clearance or any additional work that may be needed. Exhibits attached to the report will include Project location maps and images.

Step 4. Public Outreach

WHS-MAP staff have extensive experience in public outreach and presentations. During the project the WHS-MAP onsite Project Director will be available for public interpretation and outreach including interested citizens and student groups. Upon completion of the initial archaeological investigations and background research WHS-MAP will coordinate with the speakers lined up for the project to provide information on the findings of the current project and will also be available to present results and findings at two separate public events. One presentation may be intended for the City Council to provide information on the findings of the project and next steps in the regulatory process. The second presentation/lecture would be intended for the general public to provide a deep history of Lake Geneva including the pre and post contact occupations of the area in general and the Hillmoor property specifically.

APPENDIX IV
MEMORANDUM OF AGREEMENT

WISCONSIN
HISTORICAL
SOCIETY

MEMORANDUM OF AGREEMENT
BETWEEN
WISCONSIN STATE HISTORIC PRESERVATION OFFICE
AND
CITY OF LAKE GENEVA, WISCONSIN

SUBJECT: Funding up to \$30,000 from federal Historic Preservation Fund through a subgrant from the Wisconsin State Historic Preservation Office to the city of Lake Geneva, Wisconsin.

Project No. WI-24-10018

DATE OF GRANT AWARD: Feb. 24, 2024

POINT OF CONTACT: Jason Tish: jason.tish@wisconsinhistory.org 608-264-6512

GRANTEE PROJECT MANAGER: Peg Esposito

This agreement between the State Historic Preservation Office (SHPO), and the City of Lake Geneva, Wisconsin (Grantee) stipulates the terms and conditions of the funding for the above-referenced project, as well as the scope of work for the project. The Grantee will undertake and coordinate a project to conduct a Phase I archaeological survey of portions of the parcel known as the Hillmoor property.

Completion of the survey is supported by funding up to \$30,000 from the federal Historic Preservation Fund (HPF) through a subgrant from the Wisconsin SHPO in support of historic preservation activities in Wisconsin. The HPF program was established by the National Historic Preservation Act of 1966 (as amended), and is administered by the National Park Service, U.S. Department of the Interior. The Catalog of Federal Domestic Assistance number is 15.904.

The SHPO and the Grantee agree to the following:

Scope of Work

The Grantee shall carry out the project as stipulated herein and in the attached *Scope of Work*.

Period of Work Performance

All work related to this project shall be conducted between the date of the *Purchase Order* issued by the Wisconsin Historical Society for this project and **September 30, 2025**, with intermediate deadlines as stipulated below. A *Purchase Order* will be issued after this MOA is executed.

Allowable Costs

Generally, expenses for the following types of activities directly related to project work are reimbursable under this grant when they are incurred in the completion of project. See Ch. 13 of the *HPF Manual* for more specific eligibility requirements.

- Professional and consulting services
- Travel
- Equipment, materials, and supplies used for project activities
- Exhibits for public display of project results and data
- Meeting facilities
- Printing of project materials and deliverables
- Public outreach (print and digital), mailings, public meetings
- Time spent by CLG staff coordinating the project activities or hiring and directing consultants

Deviation from items in the budget proposed by the Grantee and approved by SHPO must be negotiated with and approved by SHPO staff – see *Amendments* below.

All project-related costs are subject to applicable principles in the following [Office of Management and Budget \(OMB\) Circulars](#).

- A-21 *Cost Principles for Educational Institutions* (as revised 5/10/2004);
- A-87 *Cost Principles for State, Local and Indian Tribal Governments* (as revised 5/10/2004);
- A-122 *Cost Principles for Nonprofit Organizations* (as revised 5/10/2004);
- A-102 *Grants and Cooperative Agreements with State and Local Governments* (as amended 8/29/97);
- A-110 *Uniform Administrative Requirements for Grants and Agreements with Institutions of Higher Education, Hospitals, and Other Nonprofit Organizations*, (as amended 9/30/99), and
- A-133 *Audits of Institutions of States, Local Governments, and Nonprofit Institutions* (as revised 6/27/03).

If the Grantee receives \$750,000 or more annually in federal funding, the Grantee shall comply with the provisions of [OMB Circular A-133, Single Audit Act of 1984](#), and submit to the SHPO a copy of the audit report within 30 days of publication.

All project-related spending shall meet federal requirements for the Historic Preservation Fund, meet state requirements for the HPF subgrant program, conform to the approved project budget and occur within the period of performance, and be necessary and reasonable for the completion of the *Scope of Work*.

Grant funding may not be used for any work associated with "lobbying," in accordance with [18 U.S.C. 1913](#).

General Stipulations

Because federal funds will be used to complete this project, materials produced with this funding will remain in the public domain and may not be copyrighted.

The Grantee shall comply with all federal and state laws and regulations concerning equal opportunity, affirmative action, and fair employment practices.

The Grantee will comply with all applicable regulations, laws, policies, guidelines, and requirements of this federal grant program, including applicable Secretary of the Interior's standards.

The Grantee shall comply with *Title VI of the Civil Rights Act of 1964* that states that no person, on the grounds of race, color, marital status, religious creed, or national origin, will be excluded from participation in, be denied the benefits of, or be subject to discrimination under any program or activity receiving federal assistance.

The Grantee shall comply with the *Rehabilitation Act of 1973* and the *Age Discrimination Act of 1975* and all requirements imposed by or pursuant to the *Department of the Interior Regulations (43 CFR 17)* issued pursuant to these titles, to the end that, no person in the United States will, on the grounds of age or physical ability, be excluded from participation in, denied the benefits of, or otherwise subjected to discrimination under any program or activity for which the Grantee receives financial assistance from the National Park Service, and hereby gives assurance that it will immediately take any measures to effectuate this agreement.

During the period of this grant (execution through **September 30, 2025**), any income earned by a Grantee from any project-related activities for which the Grantee requests reimbursement will be subtracted from the amount of the grant award.

The Grantee does hereby indemnify and hold harmless the State Historic Preservation Office, the Wisconsin Historical Society, and its officers, employees, and agents from actions or claims filed in response to any injury or damage received by any persons or property resulting from the Grantee's efforts to accomplish the *Scope of Work*.

Acknowledgment of Federal Assistance

The following acknowledgment of federal assistance will be printed in any publication or visual product resulting from this project. Publications, materials, projects, news release, speeches, websites, and other dissemination of information relating to this project must also acknowledge the financial support of the National Park Service and the Wisconsin Historical Society.

The activity that is the subject of this (type of publication) has been financed (in part/entirely) with Federal Funds from the National Park Service, U.S. Department of the Interior, and administered by the Wisconsin State Historic Preservation Office. However, the contents and opinions do not necessarily reflect the views or policies of the Dept. of the Interior or the Wisconsin State Historic Preservation Office. Nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Dept. of the Interior or the Wisconsin State Historic Preservation Office.



Scope of Work

Project No. WI-24-10018

Lake Geneva, Wisconsin

The State Historic Preservation Office (SHPO) and the City of Lake Geneva, Wisconsin (Grantee), agree to the following scope of work and conditions for the completion of a Phase I archaeological survey of the parcel known as the Hillmoor property.

Survey Area

Phase I archaeological testing shall be conducted in areas of the Hillmoor property identified by the applicant as “Areas of Highest Archaeological Potential” (see map, Attachment A).

Survey Manual

In conducting field work and research, the Grantee shall comply with relevant requirements and guidance in the [Guide for Public Archaeology in Wisconsin](#) (the Guide). The Grantee will direct the principal investigator to the Guide and notify them that compliance is required.

Subgrant Manual

The Grantee will comply with all standards and requirements in the [CLG Subgrant Manual](#) (*Subgrant Manual*) for allocation and use of federal funding. The Grantee will direct the principal investigator to the *Subgrant Manual* and inform them that compliance is required.

Principal Investigator and city staff

The Grantee’s Project Manager shall assist the principal investigator as needed. Time spent by city staff to facilitate the project is eligible for reimbursement by the subgrant and may be tracked and claimed for reimbursement.

Deliverables

All deliverables are due on or before **July 26, 2025**.

A technical report of findings shall be prepared, in accordance with chapter 8 of the *Guide*, that synthesizes and organizes field observations and research collected during the survey. Progress reports may be submitted at the intervals specified previously but will not be considered technical reports for the purposes of this project. The technical report must meet all SHPO submission guidelines, including digital submission guidelines and mapping standards, and must include a completed Archaeological Reports Inventory (ARI) form and completed *Archaeological Site Inventory* (ASI) Update forms.

The SHPO shall review all deliverables within 30 days of receipt, and work with the consultant to rectify incomplete or inadequate content. Project-related activities may occur after submission of deliverables.

Attachment A

Map, provided by applicant, showing areas of highest archaeological potential.

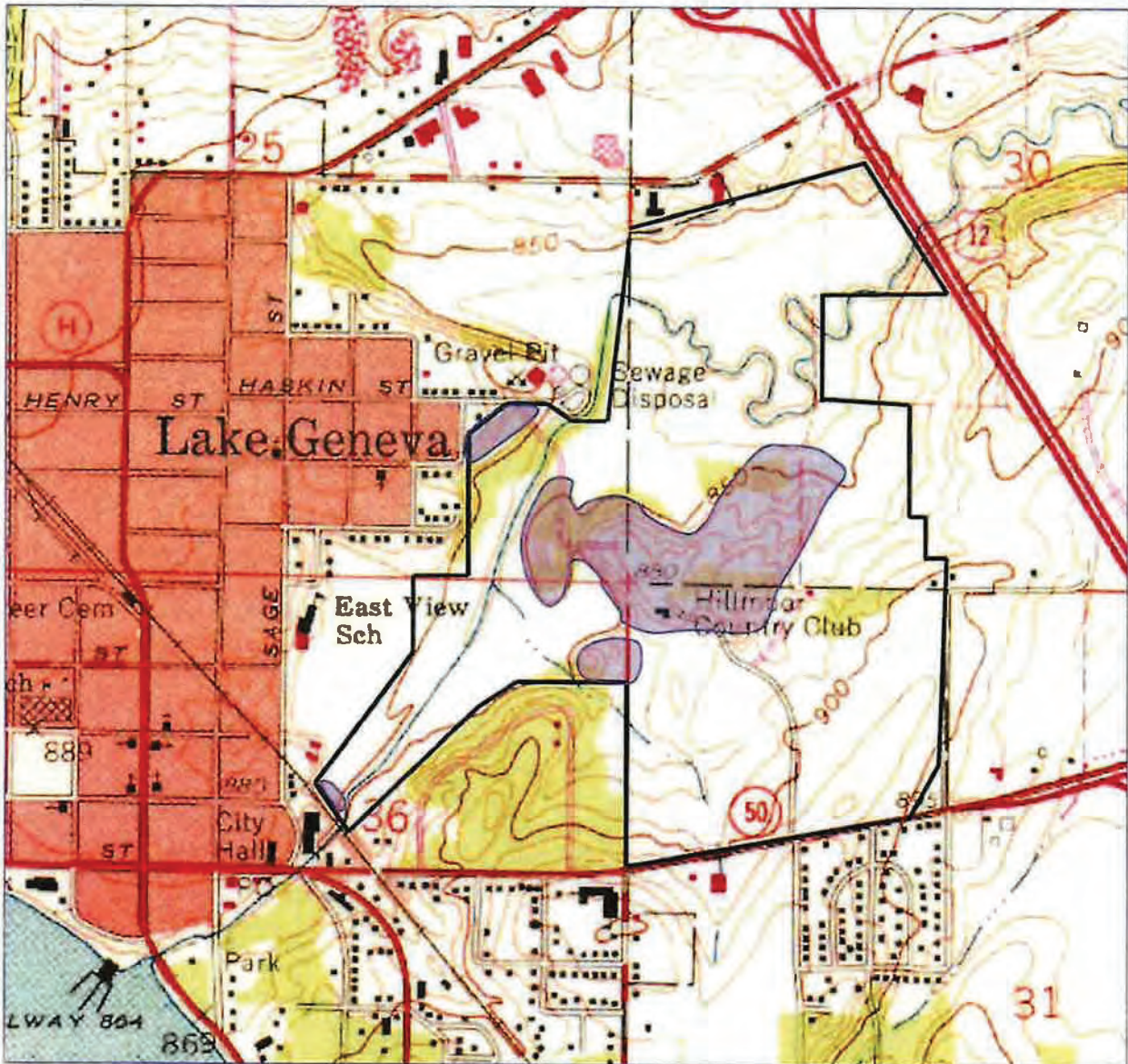
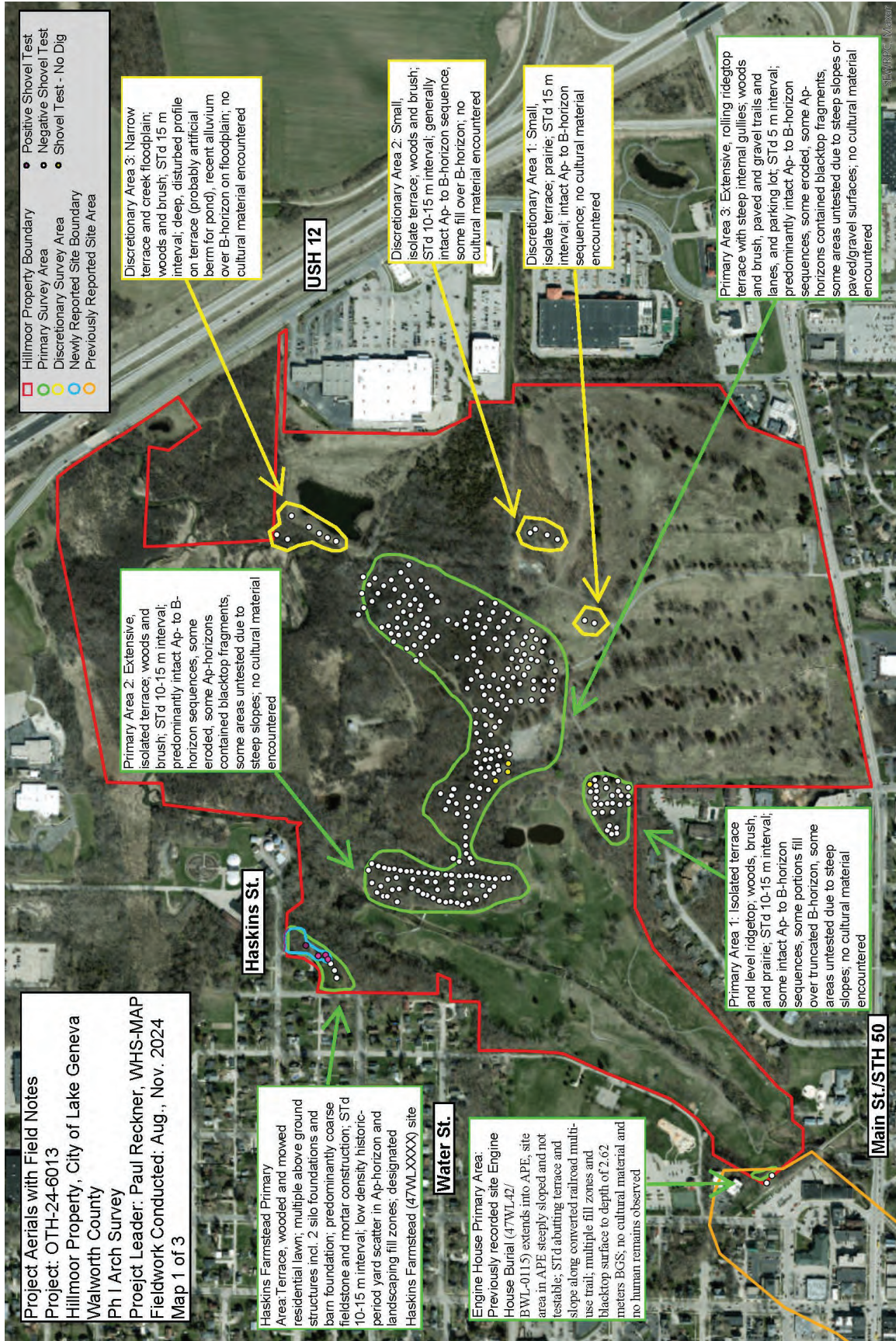
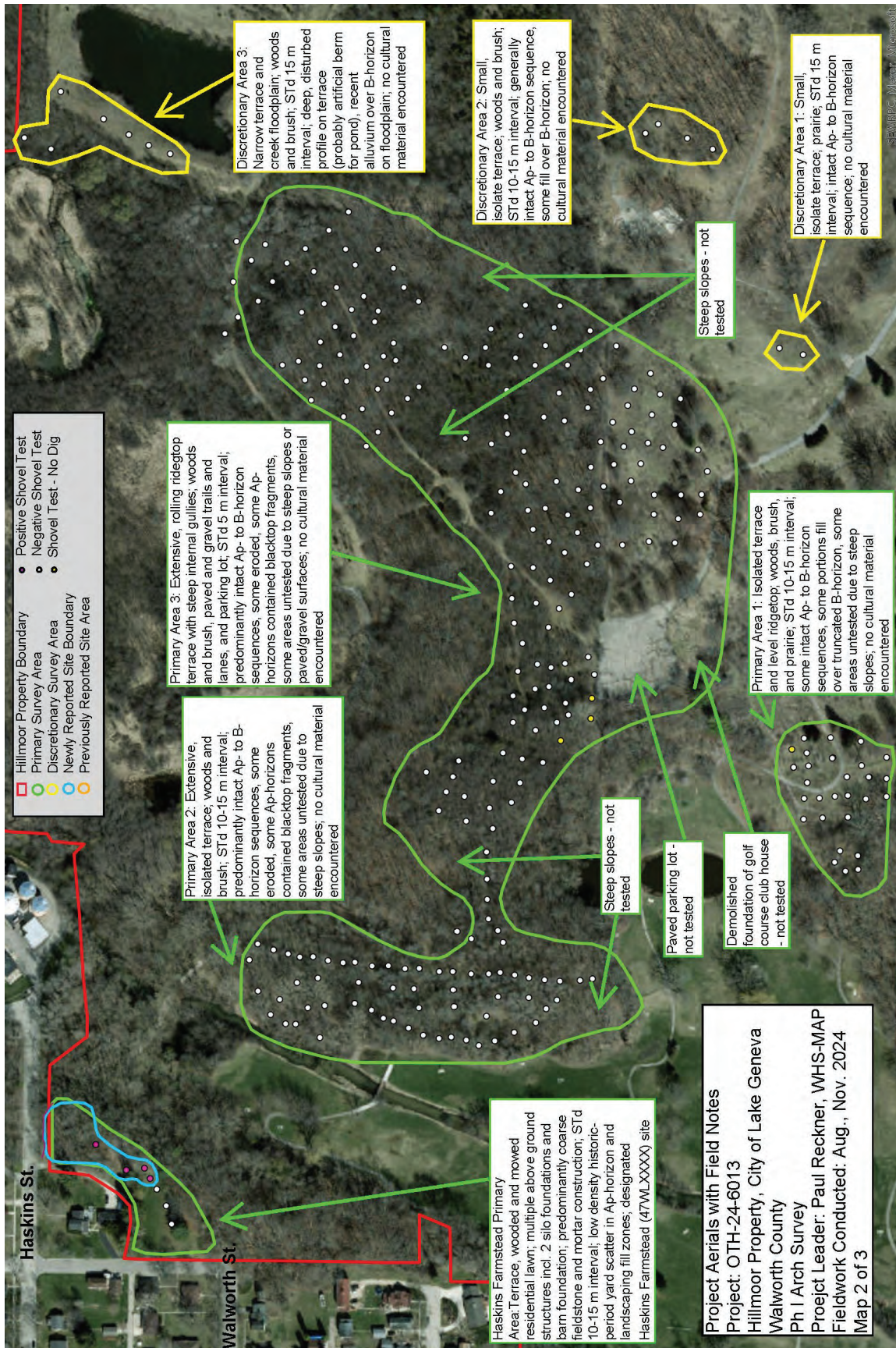


Figure 1. Portion of 1960/1971 USGS 7.5' Lake Geneva WI quadrangle showing the location of the Hillmoor property (approximate; black lines) and the areas of highest archaeological potential (approximate; purple shaded polygons).

APPENDIX V
FIELD MAPS WITH NOTES







**APPENDIX VI
ARCHAEOLOGICAL SITE INVENTORY
AND
ARCHAEOLOGICAL REPORTS INVENTORY**

<u>Primary Info</u>	
State Site #	WL-0397
Name	Haskins Farmstead
Other Name	
Field #	
ASI #	100991

Location Information								
County	Walworth							
Municipality	Lake Geneva							
Civil Town								
Location Description	Site is located in a wooded area and residential lawn on the east edge of a terrace and the shoulder of a southeast-facing slope that descends from present-day Haskins St. to the floodplain of the White River. The site is roughly bounded by Haskins St. to the north, the driveway of the private residence at 242 Haskins St. to the west, and the edge of a terrace and associated shoulder slope to the south and east. The residence located immediately west of the site area was historically associated with the farm complex, but was not included within the archaeological site boundary as it stands outside the project area on private property, and was not directly surveyed as part of the present project.							
PLSS	Township	Range	Direction	Section	QSection	Grid Alignment	French Lot	Gov. Lot
	2	17	E	25	NW, SE, SE	SE		
UTM Info								
USGS 7.5' Quad Info	LAKE GENEVA							
Parcel ID								

<u>Site Description</u>					
Site Description	The site's primary above-ground features include the well-preserved mortared stone masonry foundations of a banked barn and two attached silos. Secondary features, such as a mortared stone masonry retaining wall, a poured cement engine/pump footing, and several small poured concrete footings, are also associated with the complex. A dispersed, low density scatter of historic artifacts is present across the surface of the site area, and low densities of subsurface artifacts were also encountered in Ap-horizon contexts across the site. Historically, the farm was associated with the families of John and James Haskins, both of whom probably resided on the property at various times between their arrival in Lake Geneva circa 1842 and John's death in 1887. They operated one of the village's first saw mills, and later in the century they helped form a corporation that operated an agricultural implement factory on their property along the White River. They were also were deeply involved in local railroad, commercial, and real estate development.				
Site Dimensions (feet)					
Site Dimensions (meters)	80 x 42				
Site Type	Farmstead, Foundation/depression, HCM concentration				
Cultural Info	<table> <tr> <th>Culture</th><th>Certainty</th></tr> <tr> <td>Historic Euro-American</td><td>Definite</td></tr> </table>	Culture	Certainty	Historic Euro-American	Definite
Culture	Certainty				
Historic Euro-American	Definite				
Investigation Type	Historical research, Interview/informant, Shovel Testing/Probing, Surface Survey, Walk Over/Visual Inspection				
Archaeological Phase/Complex					
Tribe/Ethnic Group					
Site Status					
Covenant					

<u>Site Characteristics</u>	
Modern Landuse	Recreational, Residential
Degree of Disturbance	Minimal
Impacts to Sites	Defacing/Vandalism

Burial Site Info

Add

<u>National Register Info</u>	
<u>Other Eligibility Evaluation</u>	
Individual Eligibility Evaluation	
Proposed Historic District	
Contributing	

Evaluation Date	
Eligibility Comments	

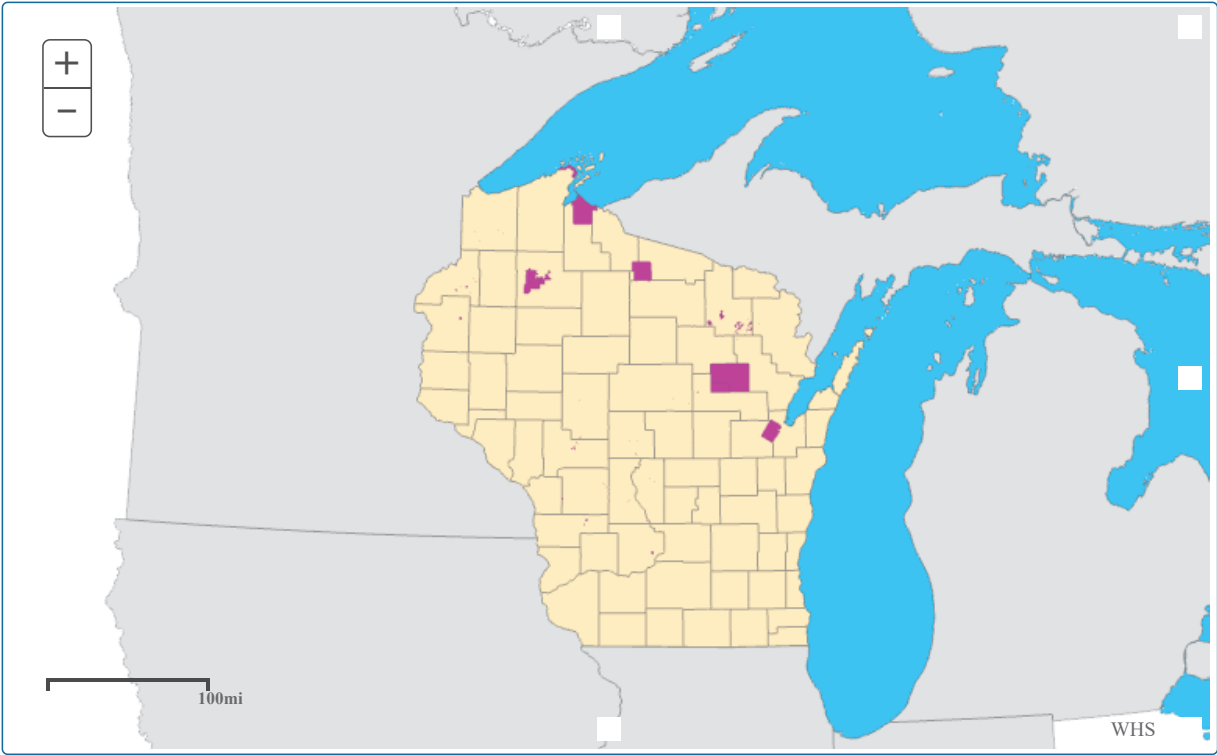
Ownership	Add
-----------	-----

Artifact Info	
Artifact Repository	WHS; Geneva Lake Museum
Material Class	Euro-American ceramics, Features, Glass, Historic building material, Metal, Structures (in ground)
Artifact List	
Date of Site	circa 1840 - early-20th-C
Dating Method	Artifact Style/Cross Dating, Historic Records, Informant/Oral History

Investigator Info				
Investigator	Organization	Date	Recommendation	
Paul Reckner	Wisconsin Historical Society-Museum Archaeology Program	8/19/2024		

Site Reporter Info	
Reporter	Paul Reckner
Organization	Wisconsin Historical Society-Museum Archaeology Program
Date Reported	2/10/2025
Bibliography	Phase I Archaeological Survey of the Hillmoor Property, City of Lake Geneva, Walworth County, Wisconsin. Research Report in Archaeology Number 323, WHS-MAP, January 2025.

Tracking Info			
WHS Project #	ARI #	Reason For Reporting	



Wisconsin ASI Update/Correction Form

Site# 47- wl-0042 Burial Site# BWL-0115 Field Number# _____ County Walworth

Site Name (limit 25 characters) Engine House Burial Other Name _____

Civil Town(s) Geneva Town # 2 North Range# 17 East Section# 36

USGS Quad Name Lake Geneva

Please refer to the ASI form and provide the appropriate headings for the correction or new information. Examples of headings are: QUARTER SECTIONS, USGS MAP, SITE DESCRIPTION, and BIBLIOGRAPHIC REFERENCES. Provide a justification or reference for any new information. When appropriate, attach a sketch map and copy of USGS quad showing revised location of site.

HEADING(S) AND NATURE OF CORRECTION/UPDATE:

SITE DESCRIPTION:

Update 2024: Limited Phase I testing was carried out along the north edge of the WHPD boundary, immediately northeast of the segment of the multi-use rail-trail that lies northeast of Mill St. and east of Sage St. Two STs contained multiple fill soils and buried blacktop surfaces to a depth of at least 2.62 meters below the ground surface at the top of the terrace. No intact soils and no precontact material culture were observed.

Investigation Type: ADD Shovel Test

Bibliography: ADD Reckner, P., 2024, Phase I Archaeological Survey of the Hillmoor Property, City of Lake Geneva, Walworth County, Wisconsin. Research Report in Archaeology Number 323, WHS-MAP, Madison, WI.

Investigator P. Reckner Affiliation WHS-MAP Date 8/20/24
Submitted by Same Affiliation Same Date 11/15/24

FOR WHS ☐ ASI# _____ ☐ CHK'D _____ ☐ GIS ENTRY _____
OFFICE USE: ☐ GIS ENTRY CHK'D _____ ☐ ENTER _____ ☐ ENTRY CHK'D _____

HP-00-000 (rev. 08/2002)

ARCHAEOLOGICAL REPORTS INVENTORY FORM

WHS PROJECT # _____

COUNTY Walworth

AUTHORS: Paul Reckner

REPORT TITLE: Phase I Archaeological Survey of Portions of the Hillmoor Property, City of Lake Geneva, Walworth County, Wisconsin

DATE OF REPORT (MONTH AND YEAR): February 2024

SERIES/NUMBER: MAP Research Report in Archaeology No. 323

PLACE OF PUBLICATION: Wisconsin Historical Society-Museum Archaeology Program, Madison

LOCATIONAL INFORMATION [LEGAL DESCRIPTION OF SURVEY AREA (T-R-S)]

2N-17E-25, 2N-17E-36; 2N-18E-30, 2N-18E-31

U.S.G.S. QUAD MAP(S): Lake Geneva 7.5'

SITE(S) INVESTIGATED: Engine House Burial (47WL42/BWL-0151); Haskins Farmstead (47WLXXXX)

ACRES INVESTIGATED: 43

AGENCY # NPS Historic Preservation Fund Subgrant WI-24-10018

INVESTIGATION TECHNIQUES COMPLETED (Check all that apply.)

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Historical Research | <input type="checkbox"/> Surface Survey | <input type="checkbox"/> Geomorphology |
| <input type="checkbox"/> Interview/Informant | <input type="checkbox"/> Soil Core | <input type="checkbox"/> Underwater |
| <input type="checkbox"/> Records/Background | <input checked="" type="checkbox"/> Walk Over/Visual Inspection | <input type="checkbox"/> Avocational Survey |
| <input checked="" type="checkbox"/> Literature Background Research | <input type="checkbox"/> Mechanical Stripping | <input type="checkbox"/> Chance Encounter |
| <input type="checkbox"/> Traditional Knowledge | <input type="checkbox"/> Test Excavation/Phase II | <input type="checkbox"/> Osteological Analysis |
| <input type="checkbox"/> Monitoring | <input type="checkbox"/> Major Excavation/Phase III | <input type="checkbox"/> Faunal Analysis |
| <input checked="" type="checkbox"/> Shovel Testing/Probing | <input type="checkbox"/> Remote Sensing | <input type="checkbox"/> Floral Analysis |

ABSTRACT: ☐ Included in report ☒ Written in space below

In the Summer and Fall of 2024 WHS-MAP conducted Phase I survey of roughly 43 ac considered to have a high probability for cultural resources on the Hillmoor property in the City of Lake Geneva. The survey investigated the far northeastern portion of 47WL42-BWL-0115 and identified a single new site 47WL397. No evidence for 47WL42/BWL-0115 was encountered. 47WKL397 is a post contact farmstead with intact foundation remnants. As currently defined 47WL397 does not appear to have potential to be listed on the NRHP, but offers an excellent opportunity for public education. No additional investigations were recommended.

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